

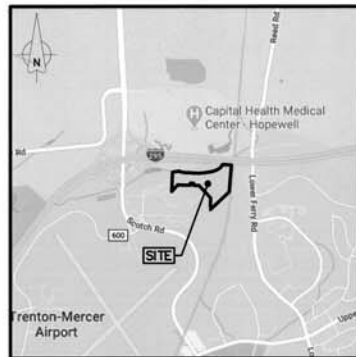
AIRPORT CORPORATE PARK WAREHOUSE

PRELIMINARY AND FINAL SITE PLAN

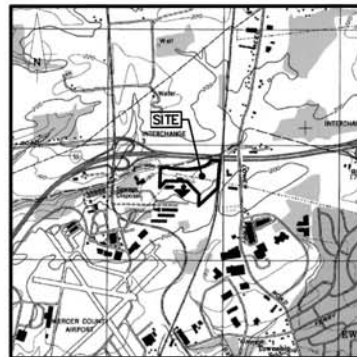
BLOCK 371, LOT 3.05, TAX MAP SHEET #65
TOWNSHIP OF EWING, MERCER COUNTY, NEW JERSEY

200' OWNERS LIST

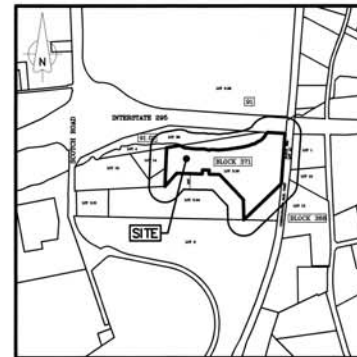
BLK/LT	NAME & ADDRESS
1	111 WHITE PINE ROAD COLUMBIA, NJ 08022
2	121 201 1/2 BULLIA WANG QFARM 511 WHITE PINE ROAD COLUMBIA, NJ 08022
3	9 CHARLES & DANIELA LEVINE 300 ROUTE 206 ROBERTSON, NJ 08055
4	101 N.A.K. REALTY CO FIRST INVESTORS CORP QFARM 1 EASTMAN PLAZA, 4TH FLR EDISON, NJ 08854
5	101 GEORGE C & DOLORES E HENSON 305 WHITE PINE ROAD COLUMBIA, NJ 08022
6	101 PIVELLS & MIDDAY 400 WHITE PINE ROAD COLUMBIA, NJ 08022
7	101 DAVID & NICOLE MACHIN 400 WHITE PINE ROAD COLUMBIA, NJ 08022
8	101 CHARLES ZIPP 478 WHITE PINE ROAD COLUMBIA, NJ 08022
9	101 GIOVANNI & ANTONIA ESPPOSITO 407 WHITE PINE ROAD COLUMBIA, NJ 08022
10	101 STEPHEN & CHRISTINE MERRITT 478 WHITE PINE ROAD COLUMBIA, NJ 08022
11	101 GEORGE & ROSAMUND BUNKER 17 ABBOTSDOWN ROAD COLUMBIA, NJ 08022
12	5 TURNPIKE FUNCTION CO (GOLDMAN, INC.) 12 CONSTITUTION DR ROBERTSON, NJ 08055
13	5 TURNPIKE FUNCTION CO (GOLDMAN, INC.) QFARM 12 CONSTITUTION DR ROBERTSON, NJ 08055
14	4 MANSFIELD REALTY NORTH LLC QFARM 14 LEBROCK DR KENNELL PARK, NJ 08044
15	4 NEW JERSEY B & A APPRENTICE 100 ROUTE 206 ROBERTSON, NJ 08055
16	7 N.A.K. REALTY CO FIRST INVESTORS CORP QFARM 1 EASTMAN PLAZA, 4TH FLR EDISON, NJ 08854
17	845 KATZMAN GREENBROOK REALTY, LLC QFARM 7 FREEDOM DRIVE PERKINSVILLE, NJ 08055
18	121 ANNA W BRAGG AND CO S. PREMIER 702 MANSFIELD ROAD WEST ROBERTSON, NJ 08055
19	121 ANNA W BRAGG AND CO S. PREMIER QFARM 702 MANSFIELD ROAD WEST ROBERTSON, NJ 08055
20	N.A.D.E. P.O. BOX 188 ROBERTSON, NJ 08055
21	REN LI & HANNA WANG



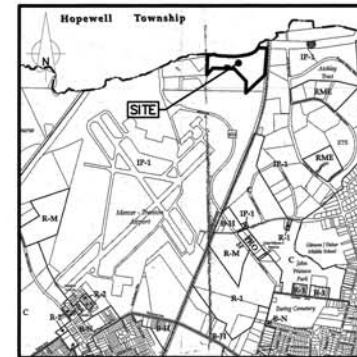
ROAD MAP
1"=2,000'±



U.S.G.S. MAP
1"=2,000'±



TAX MAP
1"=1,000'±



ZONING MAP
1"=2,000'±

DRAWING LIST - PLANS PREPARED BY MENLO ENGINEERING ASSOCIATES, INC.

SHEET #	DWG. #	TITLE
SHEET 1	CV-1	COVER SHEET
SHEET 2	EC-1	EXISTING CONDITIONS PLAN-1
SHEET 3	EC-2	EXISTING CONDITIONS PLAN-2
SHEET 4	EC-3	EXISTING CONDITIONS PLAN-3
SHEET 5	OP-1	OVERALL SITE PLAN
SHEET 6	GE-1	GEOMETRY PLAN-1
SHEET 7	GE-2	GEOMETRY PLAN-2
SHEET 8	GE-3	GEOMETRY PLAN-3
SHEET 9	GU-1	GRADING AND UTILITY PLAN-1
SHEET 10	GU-2	GRADING AND UTILITY PLAN-2
SHEET 11	GU-3	GRADING AND UTILITY PLAN-3
SHEET 12	LI-1	LIGHTING PLAN-1
SHEET 13	LI-2	LIGHTING PLAN-2
SHEET 14	LI-3	LIGHTING PLAN-3
SHEET 15	LA-1	LANDSCAPE PLAN-1
SHEET 16	LA-2	LANDSCAPE PLAN-2
SHEET 17	LA-3	LANDSCAPE PLAN-3

SHEET #	DWG. #	TITLE
SHEET 18	SE-1	SOIL EROSION AND SEDIMENT CONTROL PLAN-1
SHEET 19	SE-2	SOIL EROSION AND SEDIMENT CONTROL PLAN-2
SHEET 20	SE-3	SOIL EROSION AND SEDIMENT CONTROL PLAN-3
SHEET 21	UP-1	UTILITY PROFILES-1
SHEET 22	UP-2	UTILITY PROFILES-2
SHEET 23	SED-1	SOIL EROSION AND SEDIMENT CONTROL DETAILS
SHEET 24	DPS-1	PUMP STATION DETAILS
SHEET 25	DE-1	DETAIL SHEET-1
SHEET 26	DE-2	DETAIL SHEET-2
SHEET 27	DE-3	DETAIL SHEET-3
SHEET 28	DE-4	DETAIL SHEET-4
SHEET 29	DE-5	DETAIL SHEET-5
SHEET 30	DE-6	DETAIL SHEET-6
SHEET 31	DE-7	DETAIL SHEET-7

APPROVED BY	
CHAIRMAN	DATE
SECRETARY	DATE
ENGINEER	DATE
MUNICIPAL CLERK	DATE

I HEREBY CERTIFY THAT I AM OWNER
OF RECORD ON THE SITE HEREIN DEPICTED AND THAT I
CONCUR WITH THE PLAN

OWNER DATE

OWNER/APPLICANT:
HERRING LAND GROUP
281 WITHERSPOON STREET
SUITE 105
PRINCETON, NJ 08540
(908) 874-5400

PROJECT NUMBER: 2009.079.01
AIRPORT CORPORATE PARK WAREHOUSE

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Landscape Architects
Professional Planners
281 Cleveland Avenue
Highland Park, NJ 08904
menloeng.com
732-846-8085 732-846-8439
Certificate of Authorization: 25A2792100



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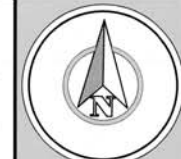
TOWNSHIP OF EWING
MERCER COUNTY
NEW JERSEY

BLOCK 371, LOT 3.05
TAX MAP SHEET 65
22.61± ACRES

COVER SHEET

DATE	BY	REVISION
2009.079.01	CV-1	1

PROJECT NUMBER: 2009.079.01
DATE OF ISSUE: AUGUST 5, 2009
REVISED: -



HORIZONTAL DATUM
GRAPHIC SCALE
 0 30 60
 15 45
 SCALE: 1"=30'

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 menloeng.com
 732-848-8585 732-848-8439
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NO.	DESCRIPTION	DATE

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 DWD BY: _____ DATE: _____



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AIRPORT CORPORATE PARK WAREHOUSE

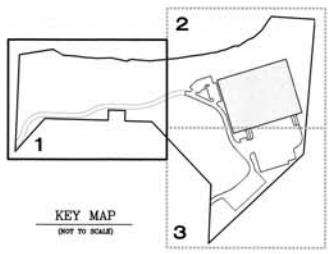
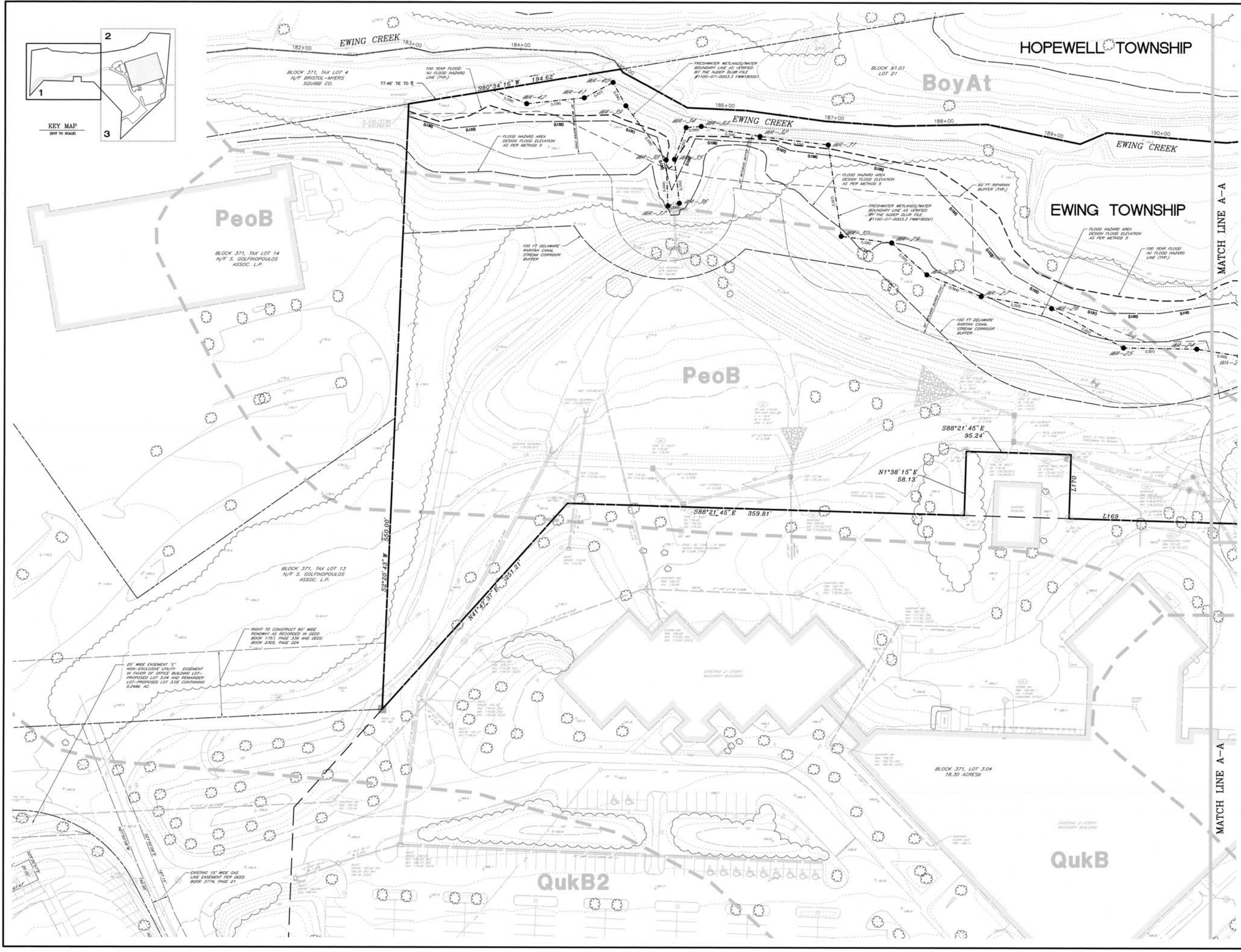
TOWNSHIP OF EWING
 MERCER COUNTY
 NEW JERSEY

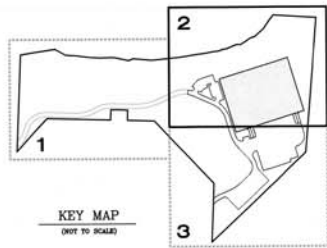
BLOCK 371, LOT 3.05
 TAX MAP SHEET 65
 22.61± ACRES

EXISTING CONDITIONS PLAN (1)

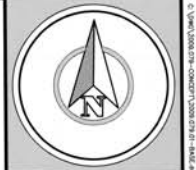
DRAWN BY: _____
 CHECKED BY: _____
 APPROVED BY: _____
 THE WORK PREPARED UNDER MY SUPERVISION:

WILLIAM A. LANE
 PROFESSIONAL ENGINEER
 NJ P.E. # 35052
 PROJECT NUMBER: 2009-079-01 EC-1
 DATE PREPARED: AUGUST 3, 2009
 SHEET NUMBER: 2



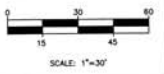


NEW JERSEY STATE HIGHWAY
ROUTE 1-95



HORIZONTAL DATUM: NAD 83

GRAPHIC SCALE



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REVISIONS

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CND BY: _____ DATE: _____



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AIRPORT CORPORATE PARK WAREHOUSE

TOWNSHIP OF EWING
MERCER COUNTY
NEW JERSEY

BLOCK 371, LOT 3.05
TAX MAP SHEET 65
22.61± ACRES

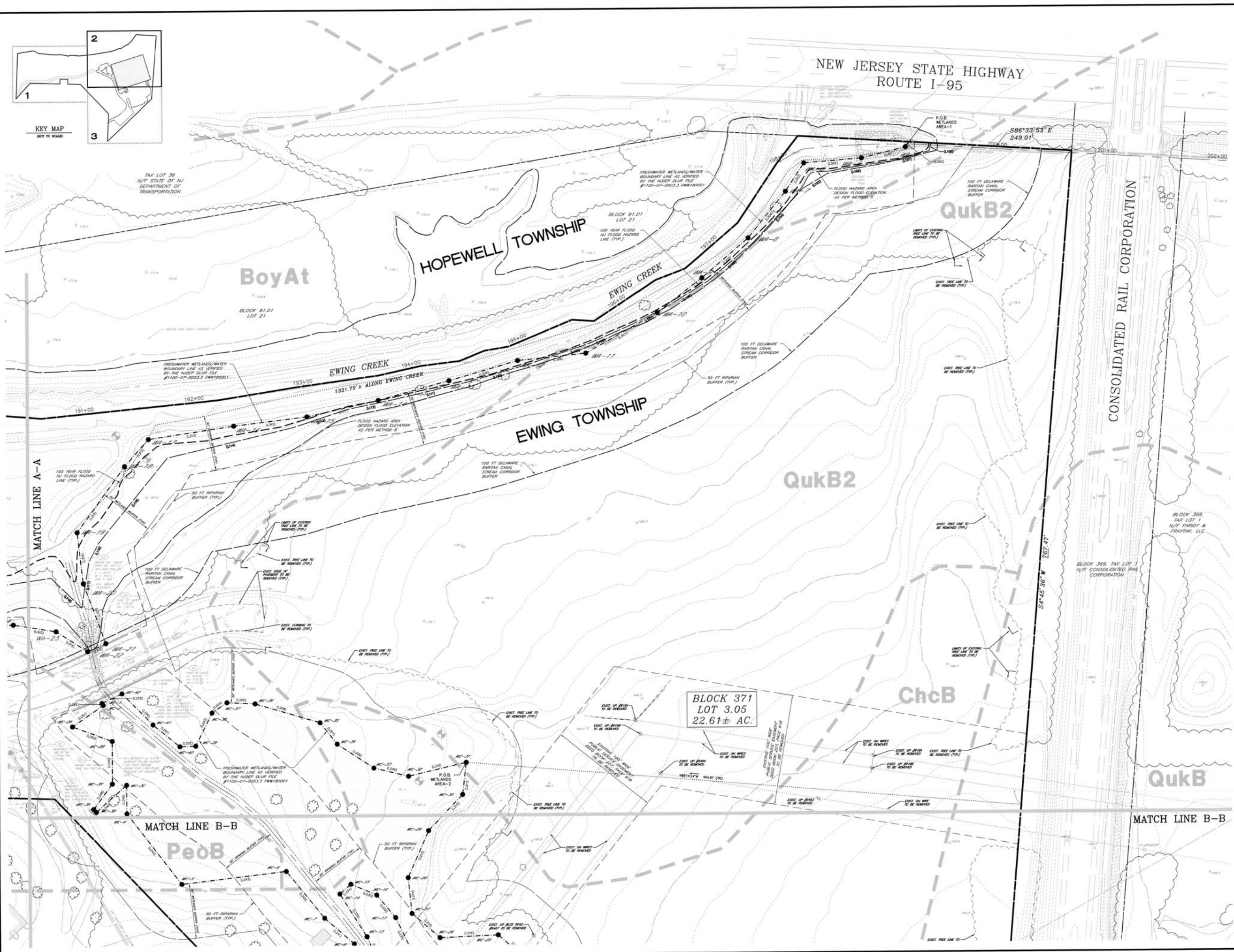
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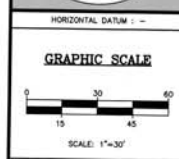
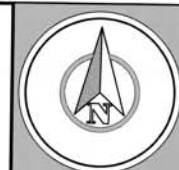
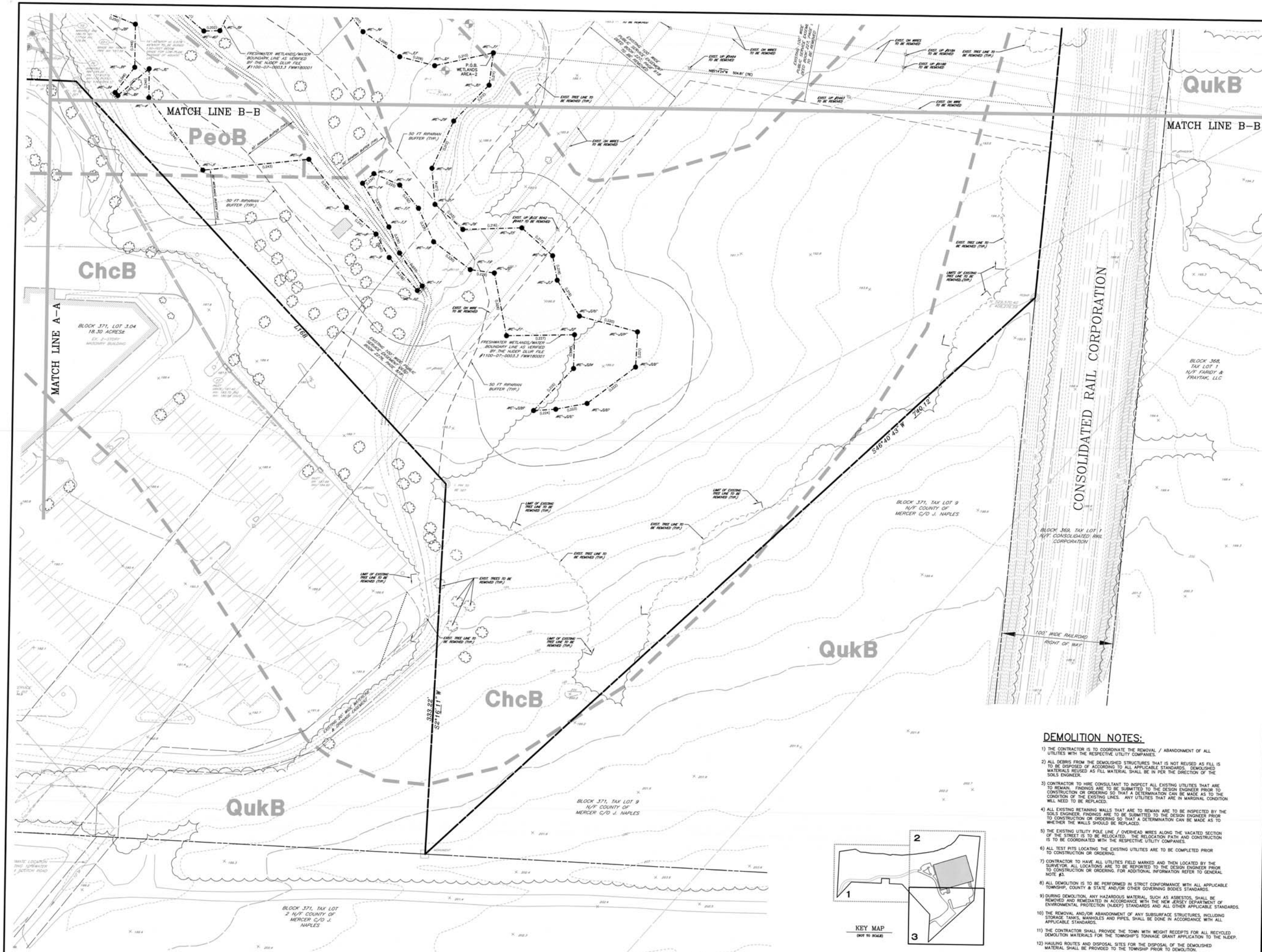
DRAWN BY: _____
DESIGNED BY: _____
APPROVED BY: _____

THIS WORK PREPARED UNDER THE SUPERVISION OF:
WILLIAM A. LANE
PROFESSIONAL ENGINEER
NJ E.C. 12524

PROJECT NUMBER: 2009-079-01 EC-2
DATE OF ISSUE: AUGUST 5, 2020
REVISION: _____

DATE PLOTTED: 08/05/2020 10:00:00 AM





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REVISIONS

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OK'D BY: _____ DATE: _____



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AIRPORT CORPORATE PARK WAREHOUSE

TOWNSHIP OF EWING
MERCER COUNTY
NEW JERSEY

BLOCK 371, LOT 3.05
TAX MAP SHEET 65
22.61± ACRES

EXISTING CONDITIONS PLAN (3)

DRAWN BY: _____ IN CHARGE

DESIGNED BY: _____ IN CHARGE

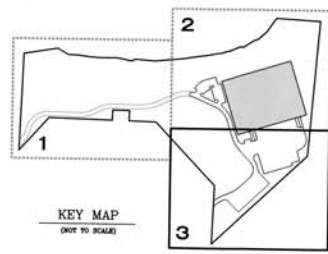
APPROVED BY: _____ REGISTERED PROFESSIONAL ENGINEER

WILBUR A. LANE
REGISTERED PROFESSIONAL ENGINEER
N.J.P.E.# 40262

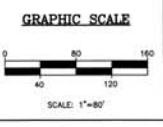
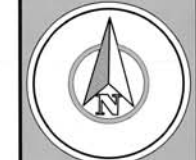
PROJECT NUMBER	2008-079-01	EC-3
DATE OF ISSUE	AUGUST 5, 2020	
REVISION		4

DEMOLITION NOTES:

- 1) THE CONTRACTOR IS TO COORDINATE THE REMOVAL / ABANDONMENT OF ALL UTILITIES WITH THE RESPECTIVE UTILITY COMPANIES.
- 2) ALL DEBRIS FROM THE DEMOLISHED STRUCTURES THAT IS NOT REUSED AS FILL IS TO BE DISPOSED OF ACCORDING TO ALL APPLICABLE STANDARDS. DEMOLISHED MATERIALS REUSED AS FILL MATERIAL SHALL BE IN PER THE DIRECTION OF THE SOILS ENGINEER.
- 3) CONTRACTOR TO HIRE CONSULTANT TO INSPECT ALL EXISTING UTILITIES THAT ARE TO REMAIN. FINDINGS ARE TO BE SUBMITTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION OR ORDERING SO THAT A DETERMINATION CAN BE MADE AS TO THE CONDITION OF THE EXISTING LINES. ANY UTILITIES THAT ARE IN MARGINAL CONDITION WILL NEED TO BE REPLACED.
- 4) ALL EXISTING RETAINING WALLS THAT ARE TO REMAIN ARE TO BE INSPECTED BY THE SOILS ENGINEER. FINDINGS ARE TO BE SUBMITTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION OR ORDERING SO THAT A DETERMINATION CAN BE MADE AS TO WHETHER THE WALLS SHOULD BE REPLACED.
- 5) THE EXISTING UTILITY POLE LINE / OVERHEAD WIRES ALONG THE VACATED SECTION OF THE STREET IS TO BE RELOCATED. THE RELOCATION PATH AND CONSTRUCTION IS TO BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANIES.
- 6) ALL TEST PITS LOCATING THE EXISTING UTILITIES ARE TO BE COMPLETED PRIOR TO CONSTRUCTION OR ORDERING.
- 7) CONTRACTOR TO HAVE ALL UTILITIES FIELD MARKED AND THEN LOCATED BY THE SURVEYOR. ALL LOCATIONS ARE TO BE REPORTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION OR ORDERING. FOR ADDITIONAL INFORMATION REFER TO GENERAL NOTE #5.
- 8) ALL DEMOLITION IS TO BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE TOWNSHIP, COUNTY & STATE AND/OR OTHER GOVERNING BODIES STANDARDS.
- 9) DURING DEMOLITION, ANY HAZARDOUS MATERIAL, SUCH AS ASBESTOS, SHALL BE REMOVED AND REMEDIATED IN ACCORDANCE WITH THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION (NJDEP) STANDARDS AND ALL OTHER APPLICABLE STANDARDS.
- 10) THE REMOVAL AND/OR ABANDONMENT OF ANY SUBSURFACE STRUCTURES, INCLUDING STORAGE TANKS, MANHOLES AND PIPES, SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
- 11) THE CONTRACTOR SHALL PROVIDE THE TOWN WITH WEIGHT RECEIPTS FOR ALL RECYCLED DEMOLITION MATERIALS FOR THE TOWNSHIP'S TONNAGE GRANT APPLICATION TO THE NJDEP.
- 12) HAULING ROUTES AND DISPOSAL SITES FOR THE DISPOSAL OF THE DEMOLISHED MATERIAL SHALL BE PROVIDED TO THE TOWNSHIP PRIOR TO DEMOLITION.



NJ STATE HIGHWAY ROUTE I-95



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REVIEWS

Table with columns for date and reviewer name.

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AIRPORT CORPORATE PARK WAREHOUSE

TOWNSHIP OF EWING MERCER COUNTY NEW JERSEY

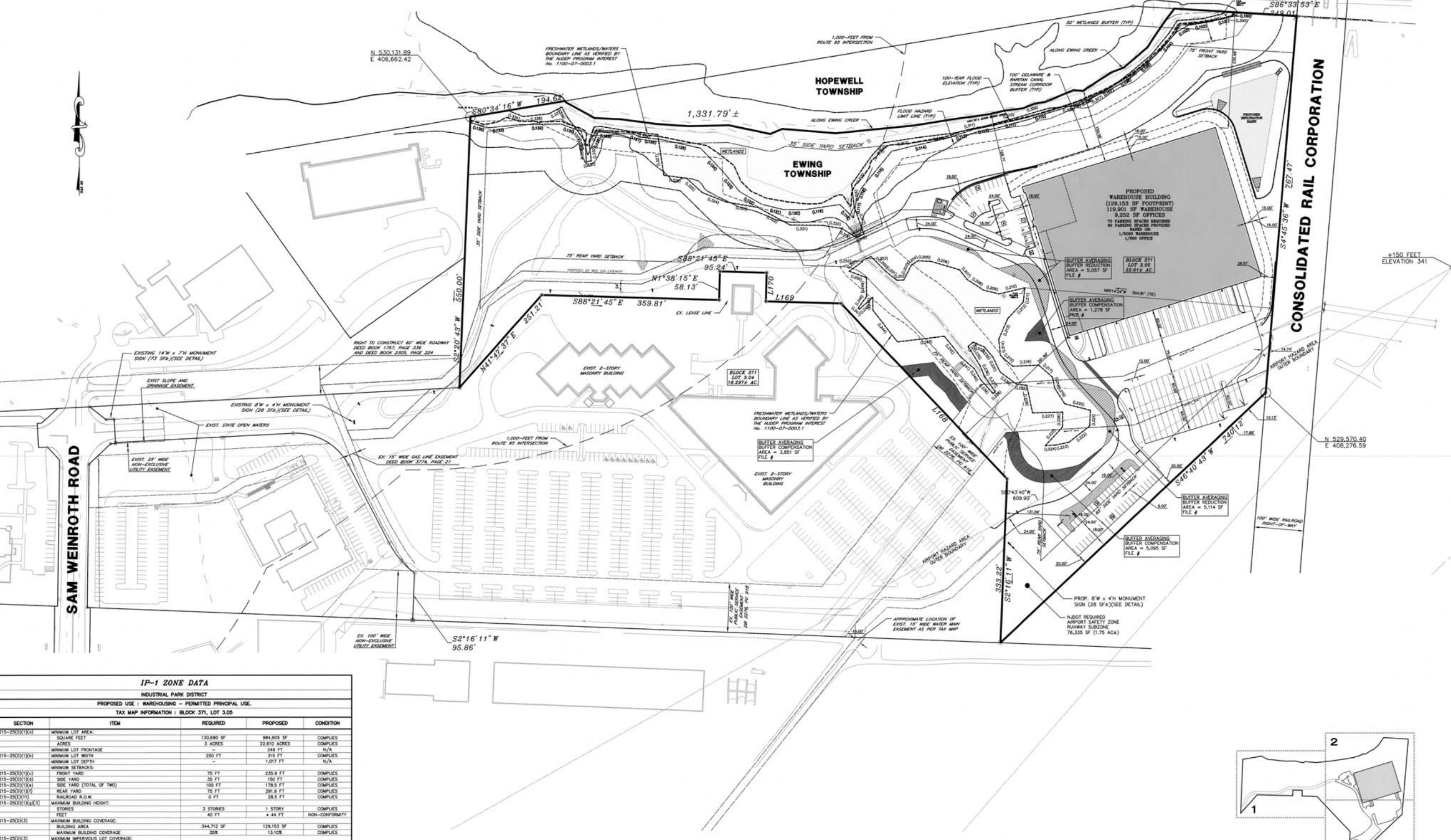
BLOCK 371, LOT 3.05 TAX MAP SHEET 65 22.61± ACRES

OVERALL PLAN

PROJECT NUMBER: 2009-079-01
DATE OF ISSUE: AUGUST 5, 2009
REVISION: 5

SAM WEINROTH ROAD

CONSOLIDATED RAIL CORPORATION



IP-1 ZONE DATA table with columns for section, item, required, proposed, and condition.

Line Table with columns for Line #, Length, and Direction.

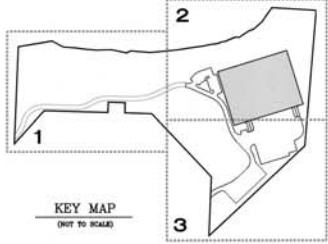
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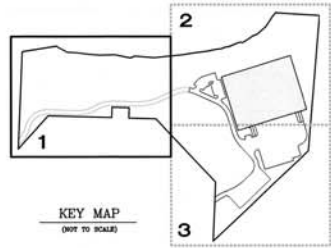
Line Table with columns for Line #, Length, and Direction.

Line Table with columns for Line #, Length, and Direction.

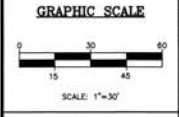
REFERENCES: 1. PLAN ENTITLED 'ALTA/ACSM LAND TITLE SURVEY WACHOVIA BANK BLOCK 371, LOT 3.05...'
2. PLAN ENTITLED 'AMENDED PLAN OF MAJOR SUBDIVISION FOR BLOCK 371, TAX LOT 3.02...'
3. PLAN ENTITLED 'PLAN OF SUBDIVISION BLOCK 371 LOT 3, EWING TOWNSHIP, MERCER COUNTY...'
4. TOWNSHIP OF EWING TAX MAP SHEET #65.

EASEMENT NOTE: ACCESS TO AND FROM SAM WEINROTH ROAD TO LOT 3.05 WILL BE PROVIDED THROUGH LOT 3.04 PURSUANT TO THE TERMS OF A CERTAIN GROUND LEASE BY AND BETWEEN NEW JERSEY NATIONAL BANK AND TEXTRON FINANCIAL - NEW JERSEY, INC., DATED DECEMBER 27, 1985, AS AMENDED BY THE SECOND AMENDMENT TO THE GROUND LEASE BETWEEN NEW JERSEY NATIONAL BANK AND TEXTRON FINANCIAL - NEW JERSEY, INC. AND FIRST FIDELITY NATIONAL BANK, AS INDENTURE TRUSTEE, DATED DECEMBER 23, 1986 AND RECORDED APRIL 10, 1987, WITH THE CLERK OF MERCER COUNTY, IN DEED BOOK 2385, PAGE 292.





HORIZONTAL DATUM : -



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REVISIONS

NO.	DESCRIPTION	DATE

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CHG BY: DATE:



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AIRPORT CORPORATE PARK WAREHOUSE

TOWNSHIP OF EWING
 MERCER COUNTY
 NEW JERSEY

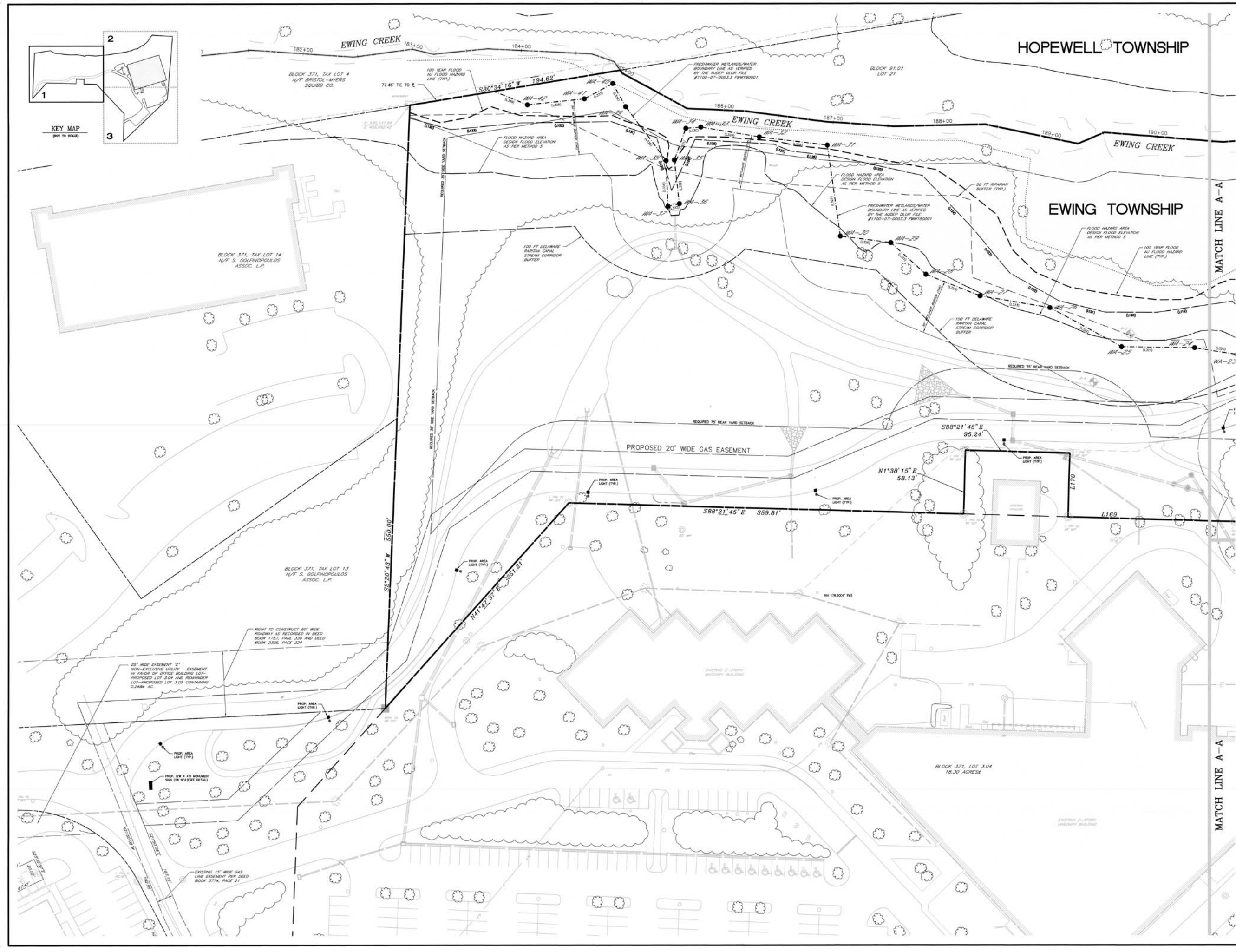
BLOCK 371, LOT 3.05
 TAX MAP SHEET 65
 22.61± ACRES

GEOMETRY PLAN (1)

DRAWN BY: SK
 DESIGNED BY: SK
 APPROVED BY: SK

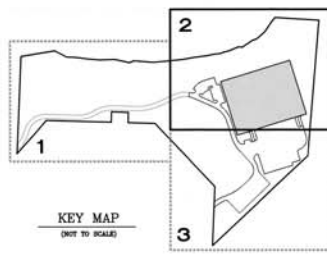
THIS WORK PREPARED UNDER THE SUPERVISION OF
WILLIAM J. LANE
 PROFESSIONAL ENGINEER
 STATE NO. 34253

PROJECT NUMBER: 2008-079-01 DE-1
 DATE OF ISSUE: AUGUST 5, 2020
 REVISION: 6

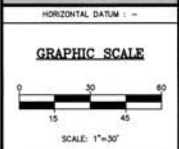


MATCH LINE A-A

MATCH LINE A-A



NEW JERSEY STATE HIGHWAY
ROUTE I-95



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REVISIONS

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AIRPORT CORPORATE PARK WAREHOUSE

TOWNSHIP OF EWING
MERCER COUNTY
NEW JERSEY

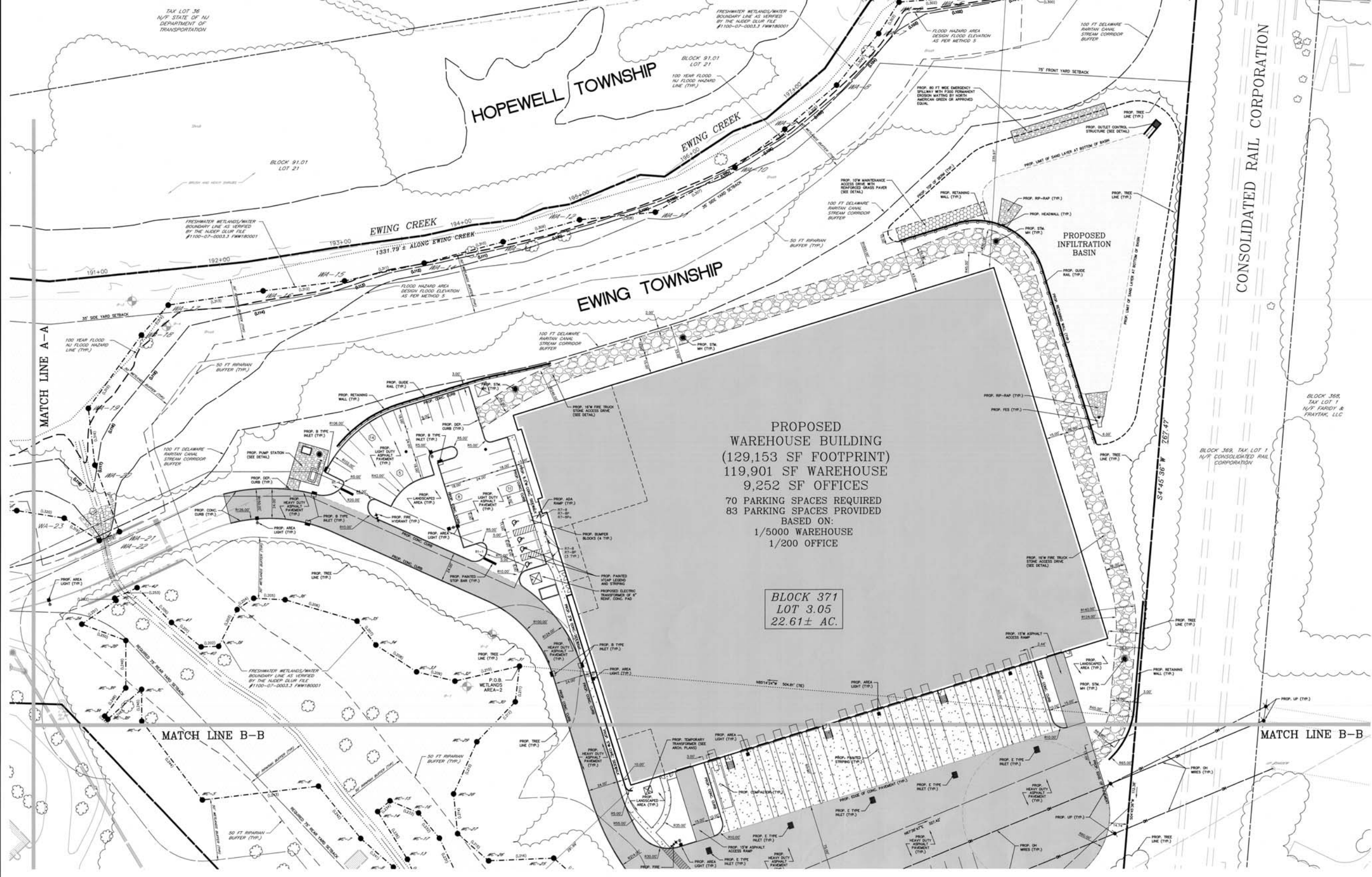
BLOCK 371, LOT 3.05
TAX MAP SHEET 65
22.61± ACRES

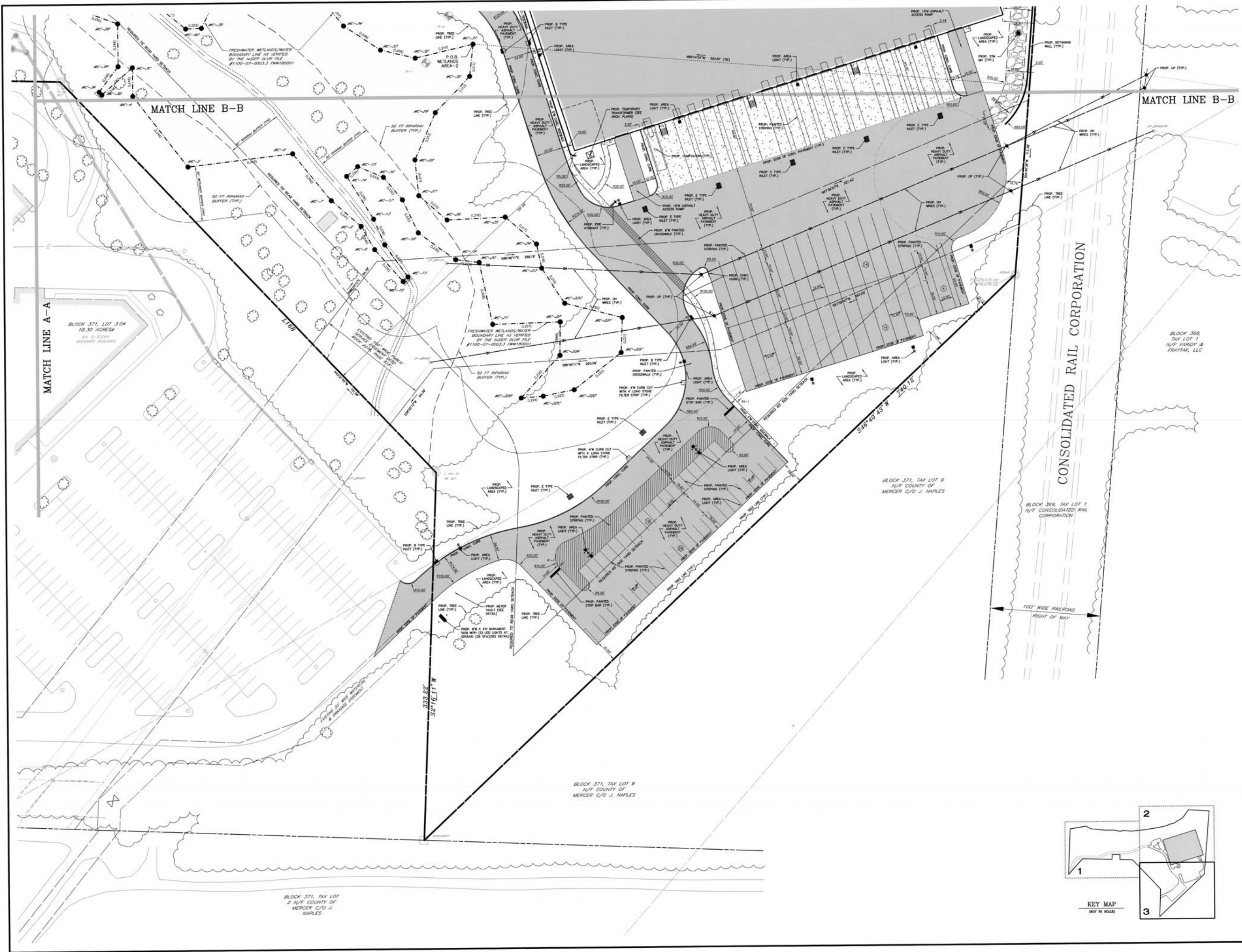
GEOMETRY PLAN (2)

THIS WORK PREPARED UNDER THE SUPERVISION OF

DESIGNED BY: [Signature]
APPROVED BY: [Signature]

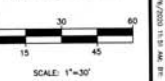
PROJECT NUMBER: 2009-079-01
DATE OF ISSUE: AUGUST 5, 2020
REVISION: 7





HORIZONTAL DATUM: -

GRAPHIC SCALE



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REVISIONS

NO.	DATE	DESCRIPTION

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AIRPORT CORPORATE PARK WAREHOUSE

TOWNSHIP OF EWING
 MERCER COUNTY
 NEW JERSEY

BLOCK 371, LOT 3.05
 TAX MAP SHEET 65
 22.61± ACRES

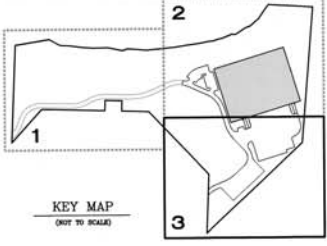
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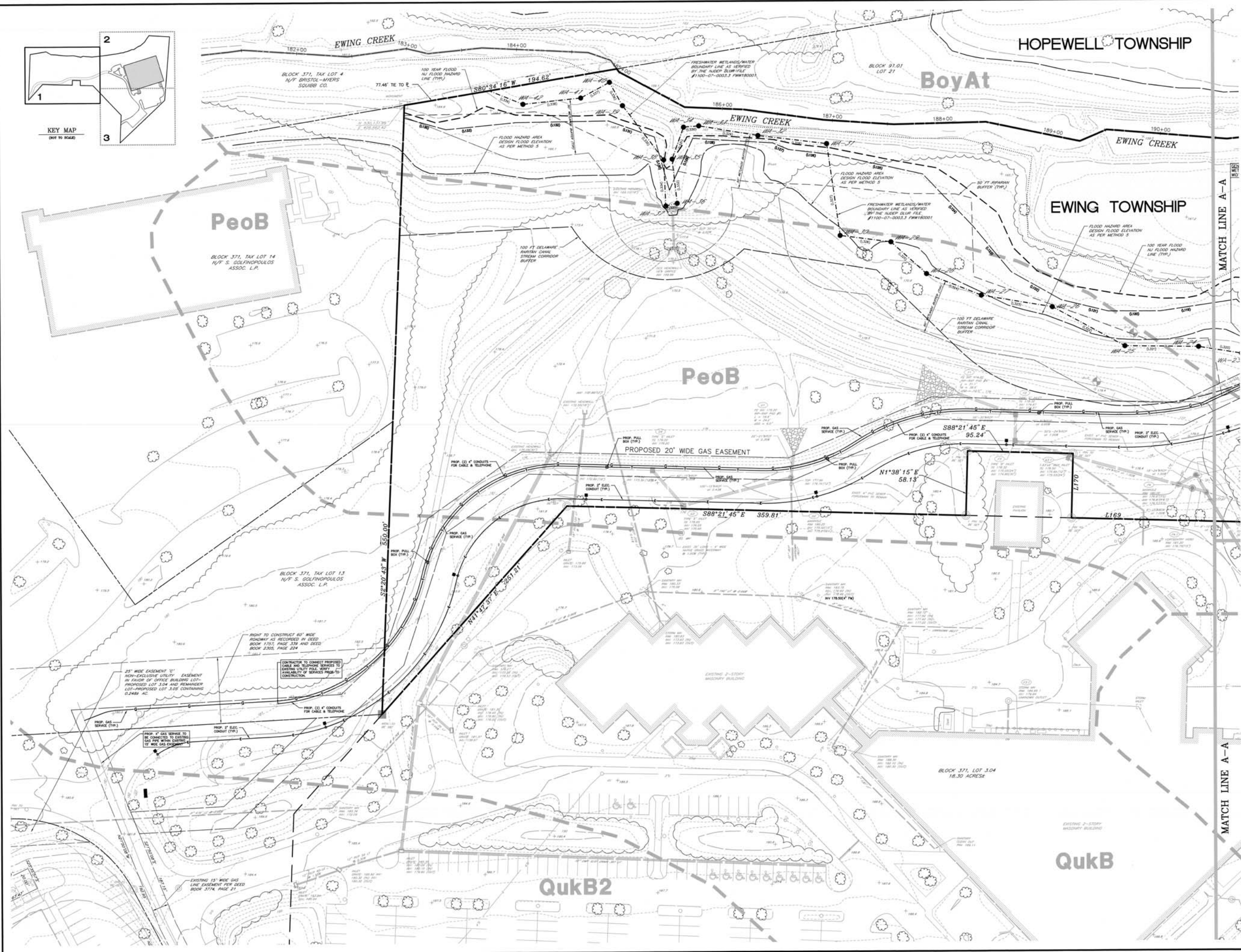
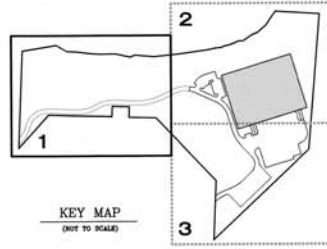
DRAWN BY: _____
 CHECKED BY: _____
 APPROVED BY: _____

THIS WORK PREPARED UNDER MY PROFESSIONAL SUPERVISION.

 WILLIAM J. LANE
 PROFESSIONAL ENGINEER
 License No. 12100

PROJECT NUMBER: 2009-079-01
 DATE OF ISSUE: AUGUST 5, 2020
 REVISION: _____





HOPEWELL TOWNSHIP

BoyAt

EWING TOWNSHIP

PeoB

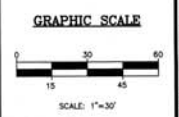
PeoB

QukB

QukB2

MATCH LINE A-A

MATCH LINE A-A



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NO.	DATE	DESCRIPTION

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AIRPORT CORPORATE PARK WAREHOUSE
 TOWNSHIP OF EWING
 MERCER COUNTY
 NEW JERSEY

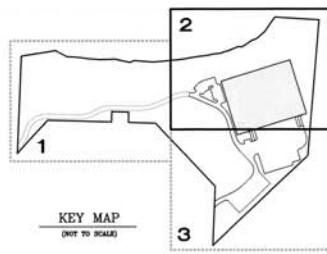
BLOCK 371, LOT 3.05
 TAX MAP SHEET 65
 22.61± ACRES

GRADING & UTILITY PLAN (1)

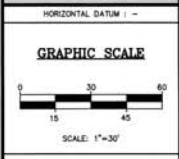
DRAWN BY: [Signature]
 DESIGNED BY: [Signature]
 APPROVED BY: [Signature]

THIS WORK PREPARED UNDER THE SUPERVISION OF:
 WILLIAM R. LANE
 PROFESSIONAL ENGINEER
 CIVIL ENGINEERING

PROJECT NUMBER: 2008-079-01
 DATE OF ISSUE: AUGUST 5, 2020
 SHEET NO.: 9



NEW JERSEY STATE HIGHWAY
ROUTE I-95



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AIRPORT CORPORATE PARK WAREHOUSE

TOWNSHIP OF EWING
MERCER COUNTY
NEW JERSEY

BLOCK 371, LOT 3.05
TAX MAP SHEET 65
22.61± ACRES

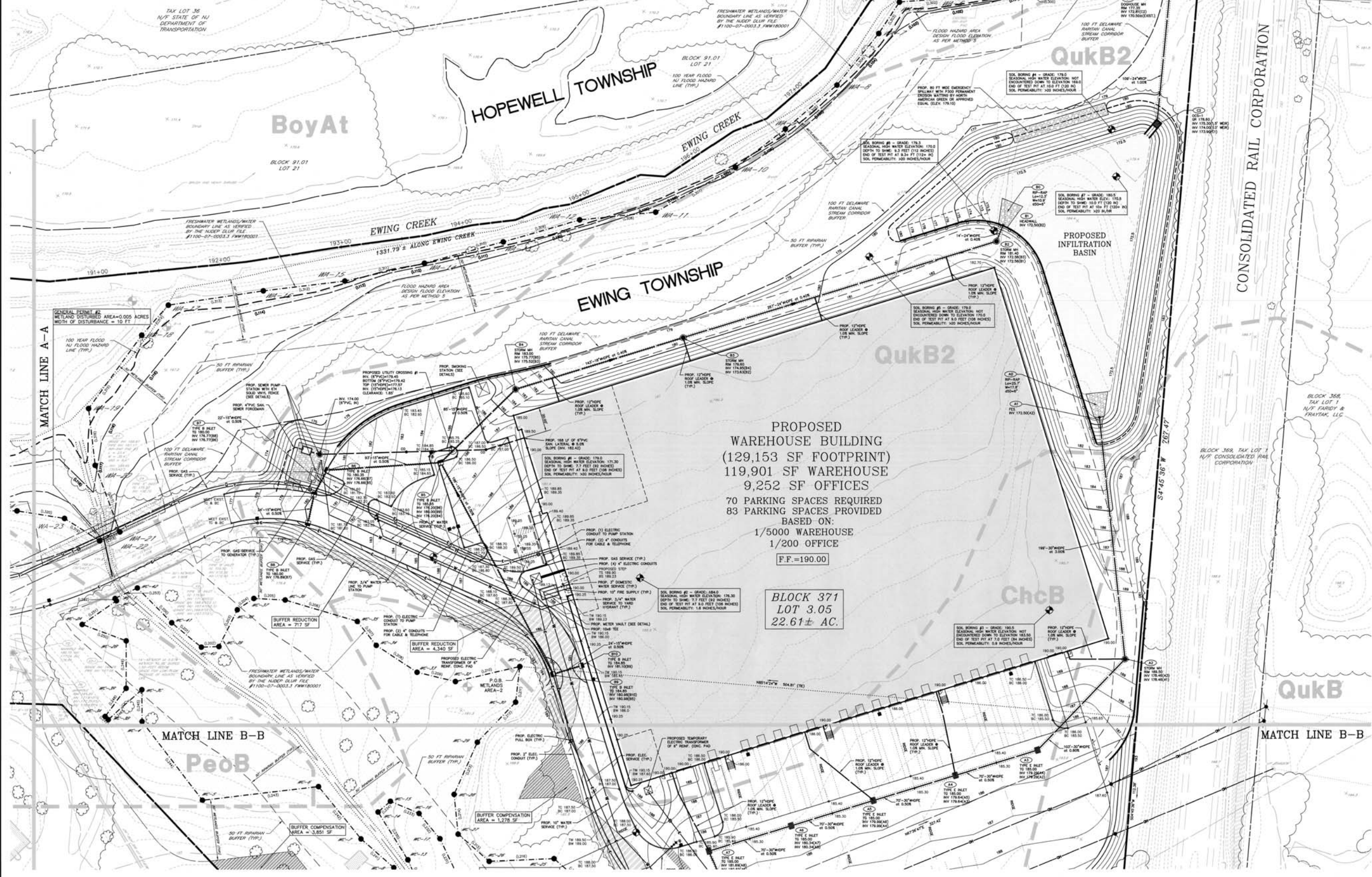
GRADING & UTILITY PLAN (2)

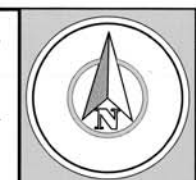
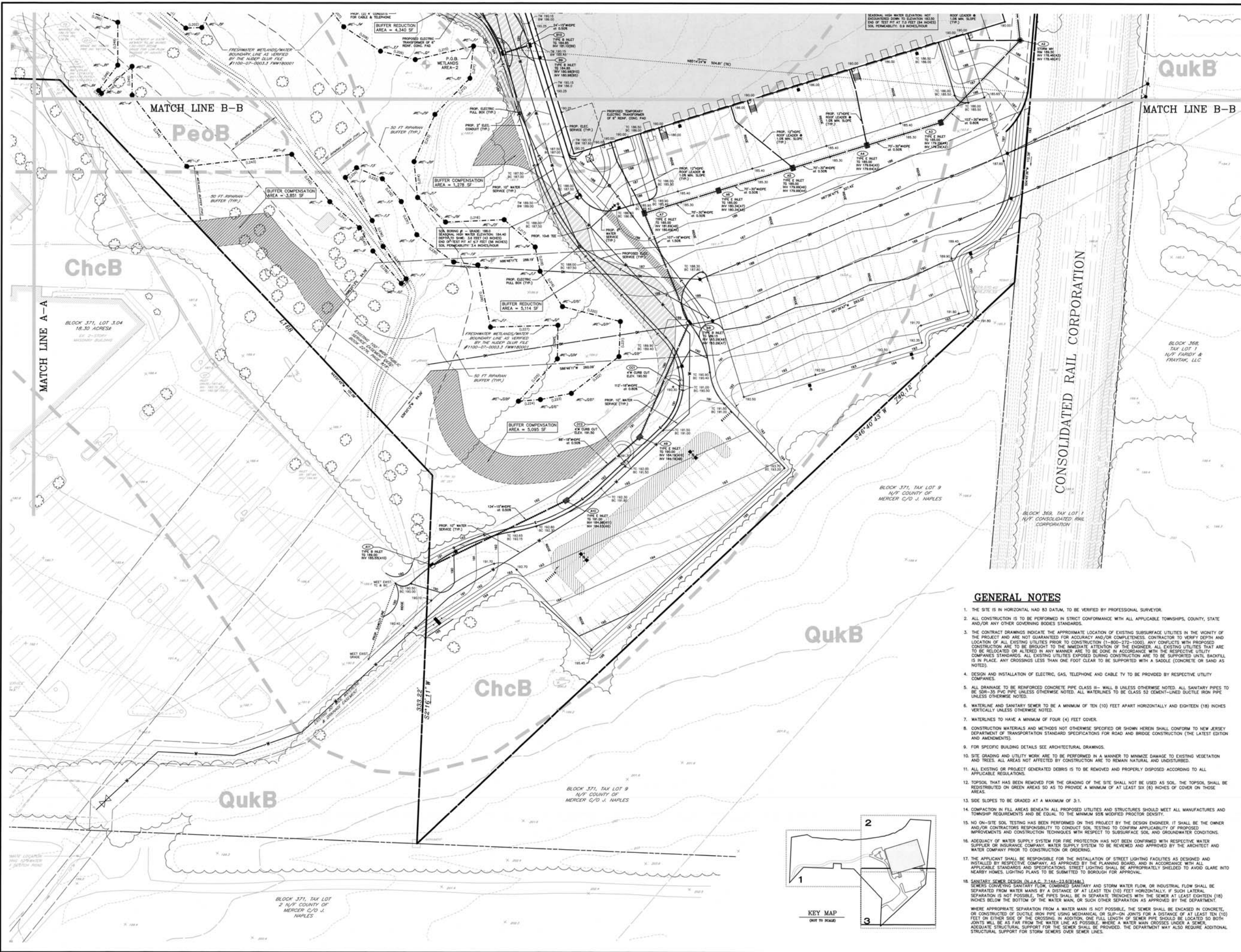
DRAWN BY: SK
DESIGNED BY: SK
APPROVED BY: W.A.L.

THIS WORK PREPARED UNDER BY: W.A.L.

WILLIAM A. LANE
PROFESSIONAL ENGINEER

PROJECT NUMBER: 2009-079-01 00-2
DATE OF ISSUE: AUGUST 5, 2020
REVISION: 10





GRAPHIC SCALE
 0 15 30
 15 45
 SCALE: 1"=30'

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 OK'D BY: _____ DATE: _____



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AIRPORT CORPORATE PARK WAREHOUSE
 TOWNSHIP OF EMING
 MERCER COUNTY
 NEW JERSEY

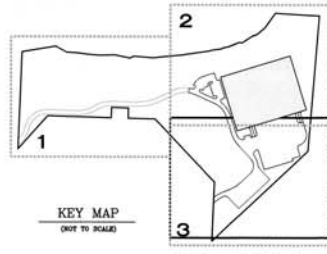
BLOCK 371, LOT 3.05
 TAX MAP SHEET 65
 22.61± ACRES

GRADING & UTILITY PLAN (3)

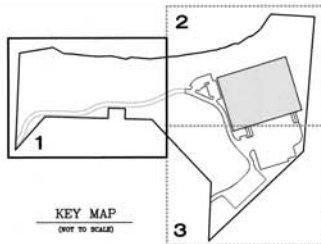
PROJECT NO.	2009.079.01	03-3
DATE OF ISSUE	AUGUST 5, 2009	11
REVISION		

GENERAL NOTES

1. THE SITE IS IN HORIZONTAL NAD 83 DATUM, TO BE VERIFIED BY PROFESSIONAL SURVEYOR.
2. ALL CONSTRUCTION IS TO BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE TOWNSHIPS, COUNTY, STATE AND/OR ANY OTHER GOVERNING BODIES STANDARDS.
3. THE CONTRACT DRAWINGS INDICATE THE APPROXIMATE LOCATION OF EXISTING SUBSURFACE UTILITIES IN THE VICINITY OF THE PROJECT AND ARE NOT GUARANTEED FOR ACCURACY AND/OR COMPLETENESS. CONTRACTOR TO VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION (1-800-272-1000). ANY CONFLICTS WITH PROPOSED CONSTRUCTION ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER. ALL EXISTING UTILITIES THAT ARE TO BE RELOCATED OR ALTERED IN ANY MANNER ARE TO BE DONE IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANIES STANDARDS. ALL EXISTING UTILITIES EXPOSED DURING CONSTRUCTION ARE TO BE SUPPORTED UNTIL BACKFILL IS IN PLACE. ANY CROSSINGS LESS THAN ONE FOOT CLEAR TO BE SUPPORTED WITH A SADDLE (CONCRETE OR SAND AS NOTED).
4. DESIGN AND INSTALLATION OF ELECTRIC, GAS, TELEPHONE AND CABLE TV TO BE PROVIDED BY RESPECTIVE UTILITY COMPANIES.
5. ALL DRAINAGE TO BE REINFORCED CONCRETE PIPE CLASS III- WALL B UNLESS OTHERWISE NOTED. ALL SANITARY PIPES TO BE 300-36 FWC PIPE UNLESS OTHERWISE NOTED. ALL WATERLINES TO BE CLASS 52 CEMENT-LINED DUCTILE IRON PIPE UNLESS OTHERWISE NOTED.
6. WATERLINE AND SANITARY SEWER TO BE A MINIMUM OF TEN (10) FEET APART HORIZONTALLY AND EIGHTEEN (18) INCHES VERTICALLY UNLESS OTHERWISE NOTED.
7. WATERLINES TO HAVE A MINIMUM OF FOUR (4) FEET COVER.
8. CONSTRUCTION MATERIALS AND METHODS NOT OTHERWISE SPECIFIED OR SHOWN HEREIN SHALL CONFORM TO NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (THE LATEST EDITION AND AMENDMENTS).
9. FOR SPECIFIC BUILDING DETAILS SEE ARCHITECTURAL DRAWINGS.
10. SITE GRADING AND UTILITY WORK ARE TO BE PERFORMED IN A MANNER TO MINIMIZE DAMAGE TO EXISTING VEGETATION AND TREES. ALL AREAS NOT AFFECTED BY CONSTRUCTION ARE TO REMAIN NATURAL AND UNDISTURBED.
11. ALL EXISTING OR PROJECT GENERATED DEBRIS IS TO BE REMOVED AND PROPERLY DISPOSED ACCORDING TO ALL APPLICABLE REGULATIONS.
12. TOPSOIL THAT HAS BEEN REMOVED FOR THE GRADING OF THE SITE SHALL NOT BE USED AS SOIL. THE TOPSOIL SHALL BE REDISTRIBUTED ON GREEN AREAS SO AS TO PROVIDE A MINIMUM OF AT LEAST SIX (6) INCHES OF COVER ON THOSE AREAS.
13. SIDE SLOPES TO BE GRADED AT A MAXIMUM OF 3:1.
14. COMPACTION IN FILL AREAS BENEATH ALL PROPOSED UTILITIES AND STRUCTURES SHOULD MEET ALL MANUFACTURES AND TOWNSHIP REQUIREMENTS AND BE EQUAL TO THE MINIMUM 95% MODIFIED PROCTOR DENSITY.
15. NO ON-SITE SOIL TESTING HAS BEEN PERFORMED ON THIS PROJECT BY THE DESIGN ENGINEER. IT SHALL BE THE OWNER AND/OR CONTRACTORS RESPONSIBILITY TO CONDUCT SOIL TESTING TO CONFIRM APPLICABILITY OF PROPOSED IMPROVEMENTS AND CONSTRUCTION TECHNIQUES WITH RESPECT TO SUBSURFACE SOIL AND GROUNDWATER CONDITIONS.
16. ADEQUACY OF WATER SUPPLY SYSTEM FOR FIRE PROTECTION HAS NOT BEEN CONFIRMED WITH RESPECTIVE WATER SUPPLIER OR INSURANCE COMPANY. WATER SUPPLY SYSTEM TO BE REVIEWED AND APPROVED BY THE ARCHITECT AND WATER COMPANY PRIOR TO CONSTRUCTION OR ORDERING.
17. THE APPLICANT SHALL BE RESPONSIBLE FOR THE INSTALLATION OF STREET LIGHTING FACILITIES AS DESIGNED AND INSTALLED BY RESPECTIVE COMPANY, AS APPROVED BY THE PLANNING BOARD, AND IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS. STREET LIGHTING SHALL BE APPROPRIATELY SHIELDED TO AVOID GLARE INTO NEARBY HOMES. LIGHTING PLANS TO BE SUBMITTED TO BOROUGH FOR APPROVAL.
18. SANITARY SEWER DESIGN (N.J.A.C. 7-14A-23.6(B)(4M))
 SEWERS CONVEYING SANITARY FLOW, COMBINED SANITARY AND STORM WATER FLOW, OR INDUSTRIAL FLOW SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST TEN (10) FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST EIGHTEEN (18) INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE DEPARTMENT.
 WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST TEN (10) FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE DEPARTMENT MAY ALSO REQUIRE ADDITIONAL STRUCTURAL SUPPORT FOR STORM SEWERS OVER SEWER LINES.



KEY MAP
 ONE TO SCALE



EWING CREEK

HOPEWELL TOWNSHIP

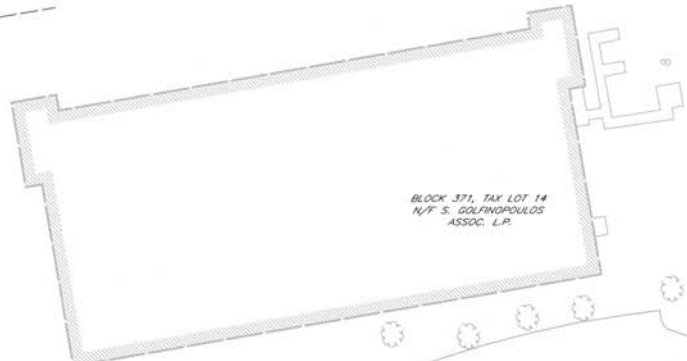
BLOCK 371, TAX LOT 4
N/F BRISTOL-MYERS
SQUIBB CO.

BLOCK 91.01
LOT 21

EWING CREEK

EWING CREEK

EWING TOWNSHIP



BLOCK 371, TAX LOT 13
N/F S. GOLINOPOULOS
ASSOC. L.P.

EXISTING 2-STORY
WAREHOUSE BUILDING

BLOCK 371, LOT 3.04
18.30 ACRES

EXISTING 2-STORY
WAREHOUSE BUILDING

MATCH LINE A-A

MATCH LINE A-A



HORIZONTAL DATUM

GRAPHIC SCALE



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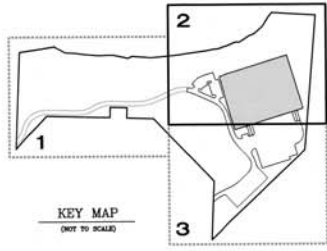


AIRPORT CORPORATE PARK WAREHOUSE

TOWNSHIP OF EWING
MERCER COUNTY
NEW JERSEY
BLOCK 371, LOT 3.05
TAX MAP SHEET 65
22.61± ACRES

LIGHTING PLAN
(1)

DATE: 8/1/2020
DRAWN BY: JWG
CHECKED BY: JWG
APPROVED BY: JWG
THIS WORK PREPARED UNDER MY
PERSONAL SUPERVISION
Kenne H. GriseWood
LANDSCAPE ARCHITECT N.J.
LICENSE #A5000771
PROJECT NUMBER: 2009.079.01 U-1
DATE: AUGUST 5, 2020
REVISION: 12



KEY MAP
ONLY TO SCALE

TAX LOT 36
N/F STATE OF NJ
DEPARTMENT OF
TRANSPORTATION

NEW JERSEY STATE HIGHWAY
ROUTE I-95

HOPEWELL TOWNSHIP

EWING CREEK

EWING TOWNSHIP

CONSOLIDATED RAIL CORPORATION

PROPOSED INFILTRATION BASIN

PROPOSED
WAREHOUSE BUILDING
(129,153 SF FOOTPRINT)
119,901 SF WAREHOUSE
9,252 SF OFFICES
70 PARKING SPACES REQUIRED
83 PARKING SPACES PROVIDED
BASED ON:
1/5000 WAREHOUSE
1/200 OFFICE

BLOCK 368
TAX LOT 1
N/F FARLEY &
FRATKIN, LLC

BLOCK 368 TAX LOT 1
N/F CONSOLIDATED RAIL
CORPORATION

MATCH LINE A-A

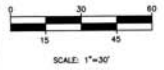
MATCH LINE B-B

MATCH LINE B-B



HORIZONTAL DATUM

GRAPHIC SCALE



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engineering
associates

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Landscape Architects
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REVISIONS	
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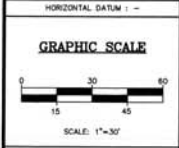
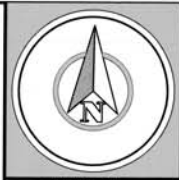
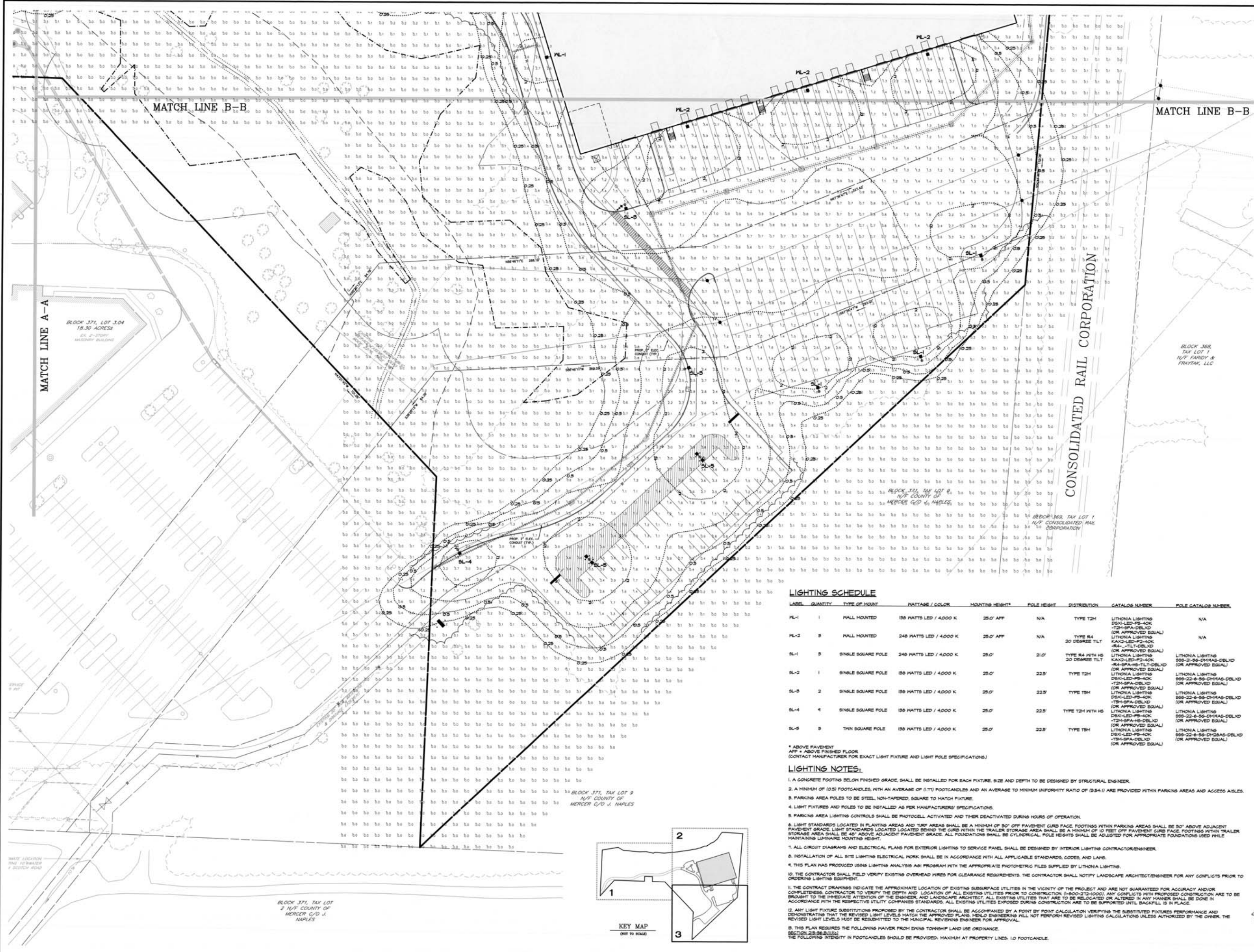
AIRPORT
CORPORATE
PARK
WAREHOUSE

TOWNSHIP OF EWING
MERCER COUNTY
NEW JERSEY

BLOCK 371, LOT 3.05
TAX MAP SHEET 65
22.61± ACRES

LIGHTING PLAN
(2)

DESIGNED BY	DATE	SCALE
CHECKED BY	PROJECT NO.	PROJECT NAME
APPROVED BY	DATE OF ISSUE	REVISION
THIS DRAWING PREPARED UNDER THE SUPERVISION OF  KENNE W. GRISEWOOD LICENSE # 38000071		
PROJECT NO.	2009-079-01	DATE
DATE OF ISSUE	AUGUST 5, 2020	SHEET NO.
REVISION		13



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AIRPORT CORPORATE PARK WAREHOUSE

TOWNSHIP OF EWING
 MERCER COUNTY
 NEW JERSEY

BLOCK 371, LOT 3.05
 TAX MAP SHEET 65
 22.61± ACRES

LIGHTING PLAN (3)

DESIGNED BY: [Signature]
 CHECKED BY: [Signature]
 APPROVED BY: [Signature]

JENNETH R. GRISWOLD
 LANDSCAPE ARCHITECT NJ
 LICENSE #A0000071

PROJECT	2009.079.01	LI-3
DATE OF ISSUE	AUGUST 5, 2009	14
REVISION		

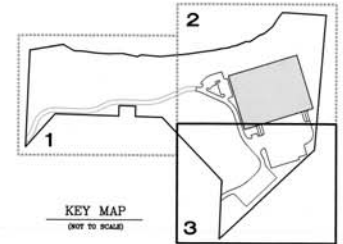
LIGHTING SCHEDULE

LABEL	QUANTITY	TYPE OF MOUNT	WATTAGE / COLOR	MOUNTING HEIGHT*	POLE HEIGHT	DISTRIBUTION	CATALOG NUMBER	POLE CATALOG NUMBER
ML-1	1	WALL MOUNTED	180 WATTS LED / 4000 K	28.0' AFF	N/A	TYPE T2H	LITHONIA LIGHTING DSN-LED-PS-AOK -T2H-SFA-DBLXD (OR APPROVED EQUAL)	N/A
ML-2	8	WALL MOUNTED	248 WATTS LED / 4000 K	25.0' AFF	N/A	TYPE R4 30 DEGREE TILT	LITHONIA LIGHTING KAX-LED-PP-AOK -R4--TILT-DBLXD (OR APPROVED EQUAL)	N/A
SL-1	9	SINGLE SQUARE POLE	248 WATTS LED / 4000 K	28.0'	21.0'	TYPE R4 PTH HS 30 DEGREE TILT	LITHONIA LIGHTING KAX-LED-PP-AOK -R4-SFA-HS-TILT-DBLXD (OR APPROVED EQUAL)	LITHONIA LIGHTING 566-22-8-56-DMHAG-DBLXD (OR APPROVED EQUAL)
SL-2	1	SINGLE SQUARE POLE	180 WATTS LED / 4000 K	28.0'	22.5'	TYPE T2H	LITHONIA LIGHTING DSN-LED-PS-AOK -T2H-SFA-DBLXD (OR APPROVED EQUAL)	LITHONIA LIGHTING 566-22-8-56-DMHAG-DBLXD (OR APPROVED EQUAL)
SL-3	2	SINGLE SQUARE POLE	180 WATTS LED / 4000 K	28.0'	22.5'	TYPE T5H	LITHONIA LIGHTING DSN-LED-PS-AOK -T5H-SFA-DBLXD (OR APPROVED EQUAL)	LITHONIA LIGHTING 566-22-8-56-DMHAG-DBLXD (OR APPROVED EQUAL)
SL-4	4	SINGLE SQUARE POLE	180 WATTS LED / 4000 K	28.0'	22.5'	TYPE T2H PTH HS	LITHONIA LIGHTING DSN-LED-PS-AOK -T2H-SFA-HS-DBLXD (OR APPROVED EQUAL)	LITHONIA LIGHTING 566-22-8-56-DMHAG-DBLXD (OR APPROVED EQUAL)
SL-5	9	THIN SQUARE POLE	180 WATTS LED / 4000 K	28.0'	22.5'	TYPE T5H	LITHONIA LIGHTING DSN-LED-PS-AOK -T5H-SFA-DBLXD (OR APPROVED EQUAL)	LITHONIA LIGHTING 566-22-8-56-DMHAG-DBLXD (OR APPROVED EQUAL)

* ABOVE PAVEMENT
 AFF = ABOVE FINISHED FLOOR
 (CONTACT MANUFACTURER FOR EXACT LIGHT FIXTURE AND LIGHT POLE SPECIFICATIONS)

LIGHTING NOTES:

- A CONCRETE FOOTING BELOW FINISHED GRADE, SHALL BE INSTALLED FOR EACH FIXTURE. SIZE AND DEPTH TO BE DESIGNED BY STRUCTURAL ENGINEER.
- A MINIMUM OF (0.8) FOOTCANDLES, WITH AN AVERAGE OF (1.17) FOOTCANDLES AND AN AVERAGE TO MINIMUM UNIFORMITY RATIO OF (0.84:1) ARE PROVIDED WITHIN PARKING AREAS AND ACCESS AISLES.
- PARKING AREA POLES TO BE STEEL, NON-TAPERED, SQUARE TO MATCH FIXTURE.
- LIGHT FIXTURES AND POLES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
- PARKING AREA LIGHTING CONTROLS SHALL BE PHOTOCELL ACTIVATED AND THEN DEACTIVATED DURING HOURS OF OPERATION.
- LIGHT STANDARDS LOCATED IN PLANTING AREAS AND TRIP AREAS SHALL BE A MINIMUM OF 80" OFF PAVEMENT CURB FACE. FOOTINGS WITHIN PARKING AREAS SHALL BE 30" ABOVE ADJACENT PAVEMENT GRADE. LIGHT STANDARDS LOCATED BEHIND THE CURB WITHIN THE TRAILER STORAGE AREA SHALL BE A MINIMUM OF 10 FEET OFF PAVEMENT CURB FACE. FOOTINGS WITHIN TRAILER STORAGE AREA SHALL BE 48" ABOVE ADJACENT PAVEMENT GRADE. ALL FOUNDATIONS SHALL BE CYLINDRICAL. POLE HEIGHTS SHALL BE ADJUSTED FOR APPROPRIATE FOUNDATIONS USED WHILE MAINTAINING MINIMUM MOUNTING HEIGHT.
- ALL CIRCUIT DIAGRAMS AND ELECTRICAL PLANS FOR EXTERIOR LIGHTING TO SERVICE PANEL SHALL BE DESIGNED BY INTERIOR LIGHTING CONTRACTOR/ENGINEER.
- INSTALLATION OF ALL SITE LIGHTING ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, CODES, AND LAWS.
- THIS PLAN HAS PRODUCED USING LIGHTING ANALYSIS AND PROGRAM WITH THE APPROPRIATE PHOTO-METRIC FILES SUPPLIED BY LITHONIA LIGHTING.
- THE CONTRACTOR SHALL FIELD VERIFY EXISTING OVERHEAD WIRES FOR CLEARANCE REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT/ENGINEER FOR ANY CONFLICTS PRIOR TO ORDERING LIGHTING EQUIPMENT.
- THE CONTRACT DRAWINGS LOCATE THE APPROXIMATE LOCATION OF EXISTING UTILITIES IN THE VICINITY OF THE PROJECT AND ARE NOT GUARANTEED FOR ACCURACY AND/OR COMPLETENESS. CONTRACTOR TO VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. (1-800-272-1000). ANY CONFLICTS WITH PROPOSED CONSTRUCTION ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND LANDSCAPE ARCHITECT. ALL EXISTING UTILITIES THAT ARE TO BE RELOCATED OR ALTERED IN ANY MANNER SHALL BE DONE IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANIES STANDARDS. ALL EXISTING UTILITIES EXPOSED DURING CONSTRUCTION ARE TO BE SUPPORTED UNTIL BACKFILL IS IN PLACE.
- ANY LIGHT FIXTURE SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE ACCOMPANIED BY A POINT BY POINT CALCULATION VERIFYING THE SUBSTITUTED FIXTURES PERFORMANCE AND DEMONSTRATING THAT THE REVISED LIGHT LEVELS MATCH THE APPROVED PLANS. MENLO ENGINEERS WILL NOT PERFORM REVISED LIGHTING CALCULATIONS UNLESS AUTHORIZED BY THE OWNER. THE REVISED LIGHT LEVELS MUST BE RESUBMITTED TO THE MUNICIPAL REVIEWING ENGINEER FOR APPROVAL.
- THIS PLAN REQUIRES THE FOLLOWING HANDBOOK FROM EWING TOWNSHIP LAND USE ORDINANCE SECTION 22-26.8.(1)(a) THE FOLLOWING INTENSITY IN FOOTCANDLES SHOULD BE PROVIDED: MAXIMUM AT PROPERTY LINES: 1.0 FOOTCANDLE.



BLOCK 371, TAX LOT 2
 N/2 COUNTY OF
 MERCER C/O J. NAPLES

BLOCK 371, TAX LOT 9
 N/2 COUNTY OF
 MERCER C/O J. NAPLES

BLOCK 368,
 TAX LOT 1
 N/2 COUNTY OF
 MERCER C/O J. NAPLES

CONSOLIDATED RAIL CORPORATION

MATCH LINE A-A

MATCH LINE B-B

MATCH LINE B-B

BLOCK 371, LOT 3.04
 18.30 ACRES
 E.L. 2-10701
 WAREHOUSE BUILDING

EXISTING LOCATION
 AND DIMENSIONS
 OF EXISTING ROAD

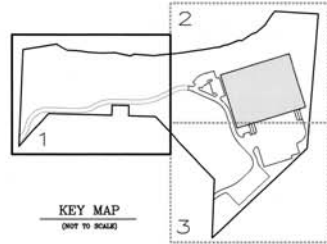
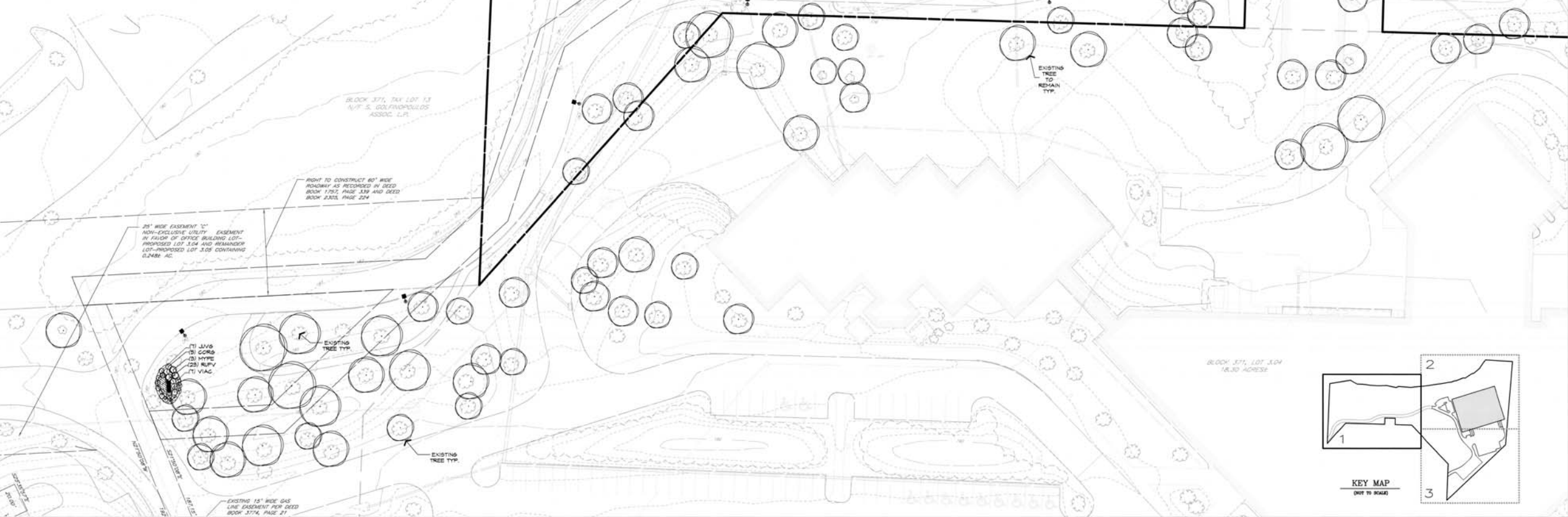
PLANT SCHEDULE AIRPORT CORPORATE PARK

DECIDUOUS TREES	QTY	BOTANICAL NAME	CROSS-SL NAME	HATURE SPREAD	HATURE HT.	CALIPER	PLANTING HT.	TYPE	REMARKS
• SUBI	8	QUERCUS BICOLOR	SHARP WHITE OAK	30'	60'	13-14"	12-14'	84B	STRAIGHT, SYMMETRICAL, FULL CROWN, HEAD TO T
• QUPA	4	QUERCUS PALMSTRIS	PIN OAK	40'	70'	13-14"	12-14'	84B	STRAIGHT, SYMMETRICAL, FULL CROWN, HEAD TO T
• TITO	1	TILIA TOHENTOSA	GREEN HOUSTON	40'	60'	13-14"	12-14'	84B	STRAIGHT, SYMMETRICAL, FULL CROWN, HEAD TO T
FLOWERING TREES	QTY	BOTANICAL NAME	CROSS-SL NAME	HATURE SPREAD	HATURE HT.	CALIPER	PLANTING HT.	TYPE	REMARKS
• AHA	1	AHELANCHER CANADENSIS	SHADELOW SERVICEBERRY	5'	10'	1/2"	4-10'	84B	(B) 5TH CLUMP, SYMMETRICAL, LOW BRANCHED
• AHA	3	AHELANCHER LAEVIS 'SNOWCLOUD'	SNOWCLOUD ALLEGHENY SERVICEBERRY	20'	35'	1/2"	4-10'	84B	(B) 5TH CLUMP, SYMMETRICAL, LOW BRANCHED
• HAVI	2	HABROGLIA VIRGINIANA	SWEET BAY HAMBOLIA	20'	20'	1/2"	4-10'	84B	HEAVY, INFORMAL, BALANCE, WELL BRANCHED
SHRUBS	QTY	BOTANICAL NAME	CROSS-SL NAME	HEIGHT	PLANTING HEIGHT	TYPE	REMARKS		
• GUM	12	VERONICA ALVULOSA 'MANSIONERD'	STELLA DE ORO DAIVLYL	3'	3-5'	1/2"	1/2"	84B	(B) CANES MIN, SYMMETRICAL, DENSE PELL FURNISHED, (B) CANES MIN, DENSE, SPACE DENSELY
• CORB	12	CORNUS ALBA 'RED SHADE'	RED SHORE SIBERIAN HORNWOOD	3'	3-5'	1/2"	1/2"	84B	(B) CANES MIN, SYMMETRICAL, DENSE PELL FURNISHED, (B) CANES MIN, DENSE, SPACE DENSELY
• LSH	14	ILEX ALABRA 'SHAZEN TH'	NORDIC HOLLY	4'	4'	1/2"	3-5'	84B	PELL FURNISHED, DENSE, LOW BRANCHED, SPACE DENSELY
• JVO	14	JUNIPERUS CHINENSIS 'VAR. SARSENTI 'VIRIDI'	GREEN SARGENT JUNIPER	3'	3-5'	1/2"	3-5'	84B	SYMMETRICAL, DENSE
• NYE	14	NYCTAGYNIA ACERIFOLIA	NORTHERN BAYBERRY	4'	4'	1/2"	3-5'	84B	SYMMETRICAL, DENSE
• VIAC	14	VIBURNUM ACERIFOLIUM	HARLEZAP VIBURNUM	4'	4'	1/2"	3-5'	84B	SYMMETRICAL, DENSE
• VICE	4	VIBURNUM SEDIFOLIUM 'NATURAL JAZZ'	ARROWWOOD VIBURNUM	4'	4'	1/2"	3-5'	84B	SYMMETRICAL, DENSE
GROUND COVERS	QTY	BOTANICAL NAME	CROSS-SL NAME	CONTAINERS	HATURE HEIGHT	SEASONING	REMARKS		
• PEAL	63	PENNETUM ALPHEGROIDES 'HANELY'	HANELY DYNAMO FOUNTAIN GRASS	12 CAN	12"	12-24"	(B) FAN CLUMP, PELL ROOTED		
• RFLV	56	RUSSCOKIA SPECIOSA 'VIETTES LITTLE SUZY'	VIETTES LITTLE SUZY BLACKEYED SUSAN	12 CAN	12"	24-36"	(B) FAN CLUMP, PELL ROOTED		

* NATIVE OR CULTIVAR OF NATIVE PLANT MATERIAL (AS PER THE NATIVE PLANT SOCIETY OF NEW JERSEY)

GENERAL LANDSCAPE NOTES:

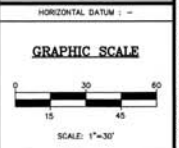
- 1. NO SUBSTITUTIONS IN THE PLANT LIST IS TO BE MADE UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT AND APPROVED BY THE OWNER AND THE TOWNSHIP.
- 2. ALL DISTURBED AND PERMANENT TRIP AREAS SHALL BE SEEDED WITH A GENERAL PURPOSE MIXTURE SIMILAR TO THE FOLLOWING: 50% SEED MIX #14 (TALL TRIP FESCUE, KENTUCKY BLUEGRASS, PERENNIAL RYEGRASS) OR APPROVED EQUAL. SEE S05 DETAIL SHEETS FOR SEEDING SPECIFICATIONS.
- 3. ALL PLANTING BEDS TO BE MULCHED WITH (B) RICH MINIMUM MULCH (SEE PLANTING NOTE K00). MULCH VOLCANOES (MOUNDS) AROUND TREES ARE PROHIBITED.
- 4. TOPSOIL PROTECTION: NO TOPSOIL SHALL BE REMOVED FROM THE SITE OR USED AS SPILL. ALL TOPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDEPOSITED ON THE SAME SURFACE SO AS TO PROVIDE AN EVEN COVER. THE SHALL BE STABILIZED BY SEEDING OR PLANTING. ALL REPAIRED TRIP AREAS SHALL BE COVERED BY A (B) (6) INCH MINIMUM THICKNESS OF TOPSOIL. IF SUFFICIENT TOPSOIL IS NOT AVAILABLE ON THE SITE, TOPSOIL TESTING OR EXCEEDING THE MINIMUM REQUIREMENTS OF THE NJDOT SPECIFICATIONS SHALL BE PROVIDED TO RESULT IN A (B) (6) INCH MINIMUM THICKNESS. ANY IMPORTED TOPSOIL OR SUBSOIL SHALL BE FLDOR CERTIFIED FREE OF ANY TOXIC OR HARMFUL CHEMICALS.
- 5. LAWN AREAS SHALL MAINTAIN A MINIMUM SLOPE OF 2% AND A MAXIMUM OF (B) FEET HORIZONTAL TO (1) FOOT VERTICAL AND COMPACTED AREAS SHALL BE TILED TO A DEPTH OF EIGHTY (8) INCHES.
- 6. UNACCEPTABLE PLANT MATERIALS: MATERIALS WHICH HAVE DAMAGED OR CRACKED LEADERS, DEFORMED GROWTH HABIT, ABRASIONS OF THE BARK, SURFACE CRACKS, DISPARING JOINTS, OR FRESH CUTS OF LIMBS OVER 3/4 IN. INCH HAVE NOT COMPLETELY CALLED PELL BE REQUIRED. IN ADDITION, TREES HAVING THEIR CENTRAL LEADERS BEADED BACK SHALL ALSO BE REJECTED.
- 7. SHRUB PLANTING ISLANDS, PARKING AREA ISLANDS AND FOUNDATION PLANTING BEDS SHALL RECEIVE A MINIMUM OF (2) FEET OF TOPSOIL MIXTURE MEETING OR EXCEEDING THE MINIMUM NJDOT SPECIFICATIONS.
- 8. ALL PLANT MATERIALS LOCATED WITHIN SIGHT TRIANGLES SHALL BE MAINTAINED NOT TO EXCEED A MAXIMUM OF (B) INCHES ABOVE PARADELT AND TREES SHALL BE LINED TO MAINTAIN A MINIMUM CLEARANCE OF (7) FEET ABOVE THE TOP OF CURB OR SIDEWALK FOR SIGHT VISIBILITY.
- 9. THE CONTRACT DRAWINGS INDICATE THE APPROXIMATE LOCATION OF EXISTING SUBSURFACE UTILITIES IN THE VICINITY OF THE PROJECT AND ARE NOT GUARANTEED FOR ACCURACY AND/OR COMPLETENESS. CONTRACTOR TO VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. (1-800-272-0000). ANY CONFLICTS WITH PROPOSED CONSTRUCTION ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND THE LANDSCAPE ARCHITECT. ALL EXISTING UTILITIES THAT ARE TO BE RELOCATED OR ALTERED IN ANY MANNER SHALL BE DONE IN ACCORDANCE WITH THE RESPECTIVE UTILITY GOVERNMENT STANDARDS. ALL EXISTING UTILITIES EXPOSED DURING CONSTRUCTION SHALL BE SUPPORTED UNTIL BACKFILL IS IN PLACE.
- 10. BASH SLOPE SLOPES SHALL BE SEEDED WITH A "TRI-MIX" TALL FESCUE BLEND OR AN APPROVED EQUAL (DRY/TACIDIC SOILS) SEED AT A RATE OF 400 LBS/ACRE OR 4 LBS/1000 SF. SLOPES OVER 3% SHALL BE SEED 1/4" HAIL SLOPES SHALL BE SEED 1/4" HAIL TRICE ANNUALLY FOR APPEARANCE. ALL SLOPES OVER 5% OR OVER 50' IN LENGTH SHALL HAVE A SLOPE STABILIZATION FABRIC IN ACCORDANCE WITH S05 STANDARDS.
- 11. UPLAND AREAS INDICATED TO BE SEEDED WITH NATIVE GRASSES SHALL BE SEEDED WITH ERBET NORTHEAST NATIVE ROAD MIXTURE (BRN-11-03) OR APPROVED EQUAL. SEEDING AT A MINIMUM RATE OF 30 LBS/ACRE. CONTACT MANUFACTURER FOR RECOMMENDED RATE FOR SPECIFIC SITE CONDITIONS AND PROPER SEEDING PROCEDURES.
- 12. IRRIGATION SHALL BE PROVIDED FOR PLANT MATERIAL IF INDICATED ON THE PLAN OR AT THE OWNER'S DIRECTION. DESIGN TO BE PROVIDED BY IRRIGATION PROFESSIONAL.
- 13. FINAL LOCATIONS OF BUFFER PLANTINGS (IF REQUIRED) LOCATED WITHIN EXISTING TREE CANOPY AREAS SHALL BE PLACED BASED ON EXISTING TREE LOCATIONS IDENTIFIED IN THE FIELD. EVERGREENS SHALL BE PLACED WHERE SAPS APPEAR IN THE TREE CANOPY. FINAL LOCATIONS TO BE APPROVED BY TOWNSHIP ENGINEER OR TOWNSHIP LANDSCAPE ARCHITECT.
- 14. SEE DETAIL SHEETS FOR ADDITIONAL PLANTING NOTES AND DETAILS.
- 15. ALL SHADE TREES, EVERGREENS, AND FLOWERING TREES SHALL BE PROVIDED WITH TREESATOR ORIGINAL OR JL PRO™ TH WATERING BAGS, RIMS OR APPROVED EQUAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER TO ALL PLANTINGS AND LAWN AREAS UNTIL FINAL ACCEPTANCE.
- 16. PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL, SEEDING OR SODDING OF LAWN AREAS, THE CONTRACTOR SHALL OBTAIN PHYSICAL CHEMICAL AND SOIL FERTILITY TESTS AT AN APPROVED LAB TO DETERMINE SOIL COMPOSITION AND SUITABILITY. THE TESTING SHALL BE AT A RATE OF EITHER ONE TEST PER 500 SQ. YARDS OF PLANTING OR ONE TEST PER 5,000 SF OF LANDSCAPE SURFACE AREA. THE SOILS SHALL BE ANALYZED IN ACCORDANCE WITH THE TEST RESULTS FOR OPTIMAL PLANT AND LAWN GROWTH. THE RESULTS OF ALL TESTING SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW.
- 17. SEASONAL COLOR WHEN INDICATED ON THE PLAN VIEW SHALL INCLUDE SPRING BULBS (TULIPS OR DAFFODILS), SUMMER ANNUALS AND FALL CURTSYNTHERANS DEPENDING ON THE SEASON OF PLANTING. THE LANDSCAPE CONTRACTOR SHALL INCLUDE THE PLANTINGS UNTIL FINAL ACCEPTANCE UNLESS SPECIFICALLY RELIEVED OF THE CONTRACT.
- 18. THE LANDSCAPE PLAN COMPLES WITH SECTION 25 OF THE EWING TOWNSHIP LAND USE ORDINANCE REQUIRING THE FOLLOWING TREE PLANTINGS:
 - SECTION 25-25(B) PORTIONS OF THE YARDS NOT USED FOR PARKING/LOADING TO BE PLANTED AND MAINTAINED
 - SECTION 25-25(B)(2) PERIMETER BUFFERS - MINIMUM WIDTH 10 FT.
 - SECTION 25-25(B)(3) PARKING AREA BUFFERS - EXISTING WOODS
 - SECTION 25-25(B)(4) MAXIMUM PRESERVATION OF NATURAL FEATURES AND BALANCED MIX OF TREES APPROPRIATE TO OPEN SPACE
 - SECTION 25-25(B)(5) PARKING AREA LANDSCAPED TO ENHANCE ECOLOGY OF THE SITE AND SURROUNDING AREA
 - SECTION 25-25(B)(7) ONE TREE PROVIDED PER EVERY EIGHT PARKING SPACES - EXISTING TREES ON PERMETER



HOPEWELL TOWNSHIP

EWING TOWNSHIP

MATCH LINE A-A



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AIRPORT CORPORATE PARK WAREHOUSE

TOWNSHIP OF EWING MERCER COUNTY NEW JERSEY

BLOCK 371, LOT 3.05 TAX MAP SHEET 65 22.61± ACRES

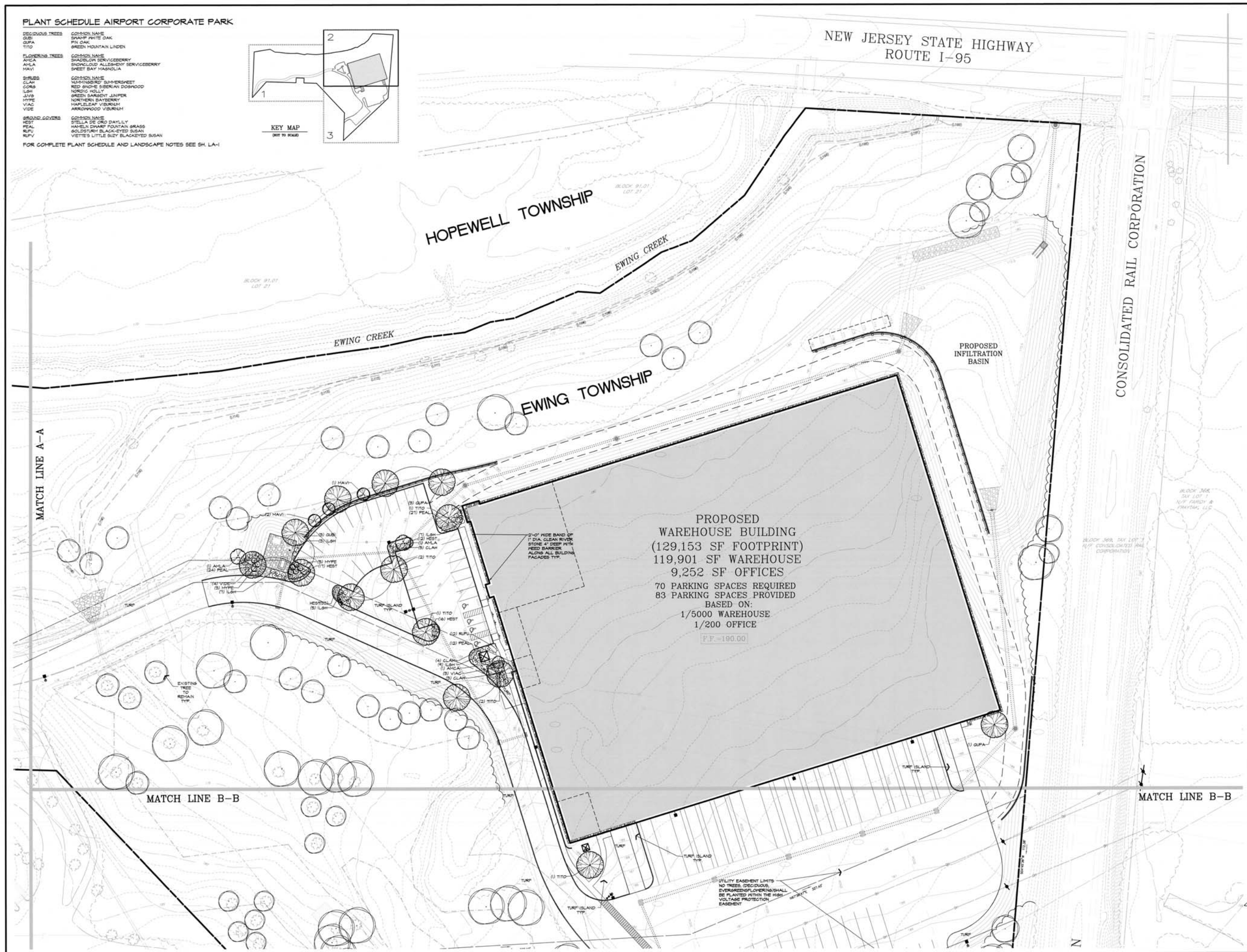
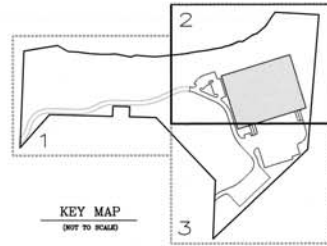
LANDSCAPE PLAN (1)

DRAWN BY: 816
REVIEWED BY: 816
APPROVED BY: 816
KENTON W. CRUSE WOOD
LANDSCAPE ARCHITECT, N.J.
LICENSE #A5000071
PROJECT NUMBER: 2009.079.01 LA-1
DATE OF ISSUE: AUGUST 5, 2020
REVISION: 15

PLANT SCHEDULE AIRPORT CORPORATE PARK

DECIDUOUS TREES	COMMON NAME
QUB	SHARP WHITE OAK
QUPA	PIN OAK
TITD	GREEN MOUNTAIN LINDEN
FLOWERING TREES	COMMON NAME
ANCA	SHADELLOW SERVICEBERRY
AMLA	SNOWCLOUD ALLEGHENY SERVICEBERRY
MAVI	SHEET BAY MAGNOLIA
SHRUBS	COMMON NAME
CLAH	WINTERBERRY SUMMERSWEET
GORS	RED SAGE SIBERIAN DOGWOOD
LJH	NORFOLK HOLLY
JYVB	GREEN SARGENT JUNIPER
MYRE	NORTHERN BAYBERRY
VIAC	HARLEQUIN VIBURNUM
VIDE	ARROWWOOD VIBURNUM
GROUND COVERS	COMMON NAME
HEST	STELLA DE ORO DAYLILY
PEAL	HAMELN DWARF FOUNTAIN GRASS
RUPV	GOLDSTRICH BLACK-EYED SUSAN
RUPV	VIETTE'S LITTLE SUZY BLACK-EYED SUSAN

FOR COMPLETE PLANT SCHEDULE AND LANDSCAPE NOTES SEE SH. LA-1



HOPEWELL TOWNSHIP

EWING TOWNSHIP

NEW JERSEY STATE HIGHWAY
ROUTE I-95

CONSOLIDATED RAIL CORPORATION

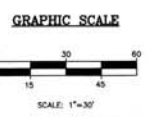
PROPOSED
WAREHOUSE BUILDING
(129,153 SF FOOTPRINT)
119,901 SF WAREHOUSE
9,252 SF OFFICES
70 PARKING SPACES REQUIRED
83 PARKING SPACES PROVIDED
BASED ON:
1/5000 WAREHOUSE
1/200 OFFICE
F.P. = 190.00

PROPOSED INFILTRATION BASIN

MATCH LINE A-A

MATCH LINE B-B

MATCH LINE B-B



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NO.	REVISIONS

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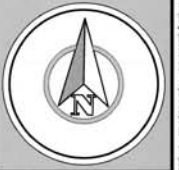
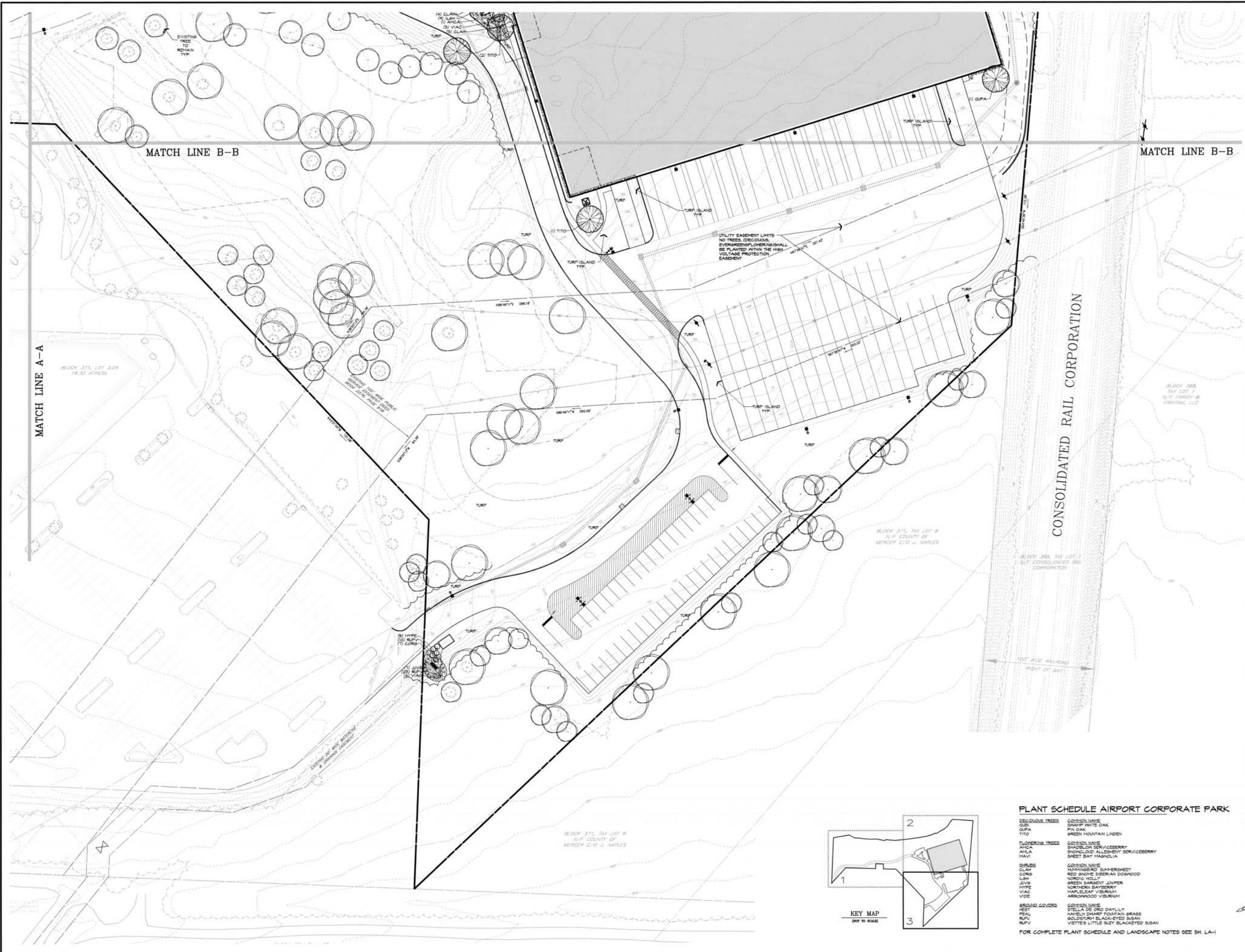
AIRPORT CORPORATE PARK WAREHOUSE

TOWNSHIP OF EWING
MERCER COUNTY
NEW JERSEY

BLOCK 371, LOT 3.05
TAX MAP SHEET 65
22.61± ACRES

LANDSCAPE PLAN (2)

DESIGNED BY	803
APPROVED BY	803
DATE	8/5/2020
PROJECT	2009-079-01
DATE OF REVISION	AUGUST 5, 2020
REVISION	16



HORIZONTAL DATUM -

GRAPHIC SCALE



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REVISIONS

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 CHKD BY: _____ DATE: _____



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**AIRPORT
CORPORATE
PARK
WAREHOUSE**

TOWNSHIP OF EWING
MERCER COUNTY
NEW JERSEY

BLOCK 371, LOT 3.05
TAX MAP SHEET 85
22.61± ACRES

**LANDSCAPE
PLAN
(3)**

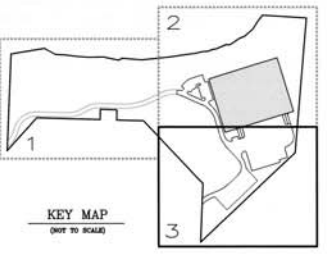
DRAWN BY: _____
REVIEWED BY: _____
APPROVED BY: _____

THIS WORK PREPARED UNDER THE
SUPERVISION OF
RENNE TH R. GRISWOOD
LANDSCAPE ARCHITECT NJ
LICENSE # AS000271

PROJECT NUMBER: 2009-079-01 LA-3
DATE OF ISSUE: AUGUST 5, 2009
REVISION: _____ 17

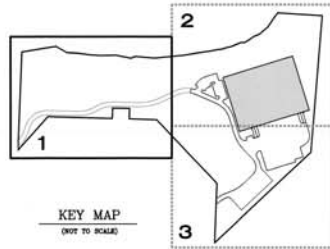
PLANT SCHEDULE AIRPORT CORPORATE PARK

DECIDUOUS TREES	COMMON NAME
QOAK	SHARP WHITE OAK
QOPA	PIN OAK
TITO	GREEN MOUNTAIN LINDEN
EVERGREEN TREES	COMMON NAME
ANCA	SHADBLOW SERVICEBERRY
AKLA	SNOWGLOBE ALLESHERRY SERVICEBERRY
HAVI	SWEET BAY MAGNOLIA
SHRUBS	COMMON NAME
CLAN	HAMMINGSBIRD SUMMERSWEET
CONR	RED SPINNE BIRCHIAN DOGWOOD
LSH	NORPIC HOLLY
JVIS	GREEN GARGENT JASMINE
HYFE	NORTHERN SERVICEBERRY
VIAC	HARLEQUIN VIBURNUM
VOIC	AMERICAN VIBURNUM
GROUND COVERS	COMMON NAME
WEST	STELLA DE CRO DAYLILY
PEAL	HAMELI DWARF FOUNTAIN GRASS
RUPJ	GOLDSTAR BLACK-EYED SUSAN
RUPV	VICTOR LITTLE SUZY BLACK-EYED SUSAN



KEY MAP
ONE TO SCALE

FOR COMPLETE PLANT SCHEDULE AND LANDSCAPE NOTES SEE SH. LA-1



CONSTRUCTION SEQUENCE

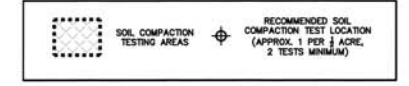
- CONSTRUCTION COMMENCEMENT DATE: SPRING 2021
- 1) INSTALLATION OF SILT FENCE ALONG LIMIT OF DISTURBANCE LINE AT SECTION DELINEATED ON "SOIL EROSION CONTROL PLANS" - 2 DAY(S)
 - INSTALLATION OF STONE AT CONSTRUCTION ENTRANCES - 1 DAY(S)
 - 2) TEMPORARY STABILIZATION - 4 DAY(S)
 - 3) ROUGH CLEARING AND GRUBBING - 2 WEEK(S)
 - 4) ROUGH GRADING AND TEMPORARY SEEDING - 4 WEEK(S)
 - CONSTRUCTION AND PERMANENT STABILIZATION OF DETENTION BASIN. THE DETENTION BASIN SHALL BE CUT TO THE TOP OF SAND ELEVATION AND A TEMPORARY FILTER FABRIC SHALL BE INSTALLED IN THE BOTTOM OF THE BASIN. INSTALLATION OF RIP-RAP OUTFALL PADS - 4 WEEK(S)
 - 5) INSTALLATION OF UTILITIES AND FOUNDATIONS WITH EROSION CONTROL DEVICES (TEMPORARY SEEDING, INLET PROTECTION AND TEMPORARY STABILIZATION) - 4 WEEK(S)
 - 6) CURBING - 3 WEEK(S)
 - 7) PAVEMENT SUBBASE - 3 WEEK(S)
 - 8) FINISHED GRADING AND LIGHTING - 3 WEEK(S)
 - 9) FINAL PAVEMENT - 2 WEEK(S)
 - 10) LANDSCAPING WITH PERMANENT SEEDING - 4 WEEK(S)
 - 11) REMOVAL OF SEDIMENT BASIN - 1 WEEK(S)
 - 12) INSTALLATION OF KS SAND IN DETENTION BASIN BOTTOM - 1 WEEK(S)

NOTE: AS C.O.'S FOR INDIVIDUAL BUILDING ARE APPLIED FOR, ALL SITE WORK AROUND THE BUILDING TO BE COMPLETED (NO. 10 SUBJECT TO WEATHER CONDITIONS AND TO BE COMPLETED WITHIN 6 MONTHS). THE ABOVE SCHEDULE SUBJECT TO WEATHER CONDITIONS AND MATERIAL AVAILABILITY.

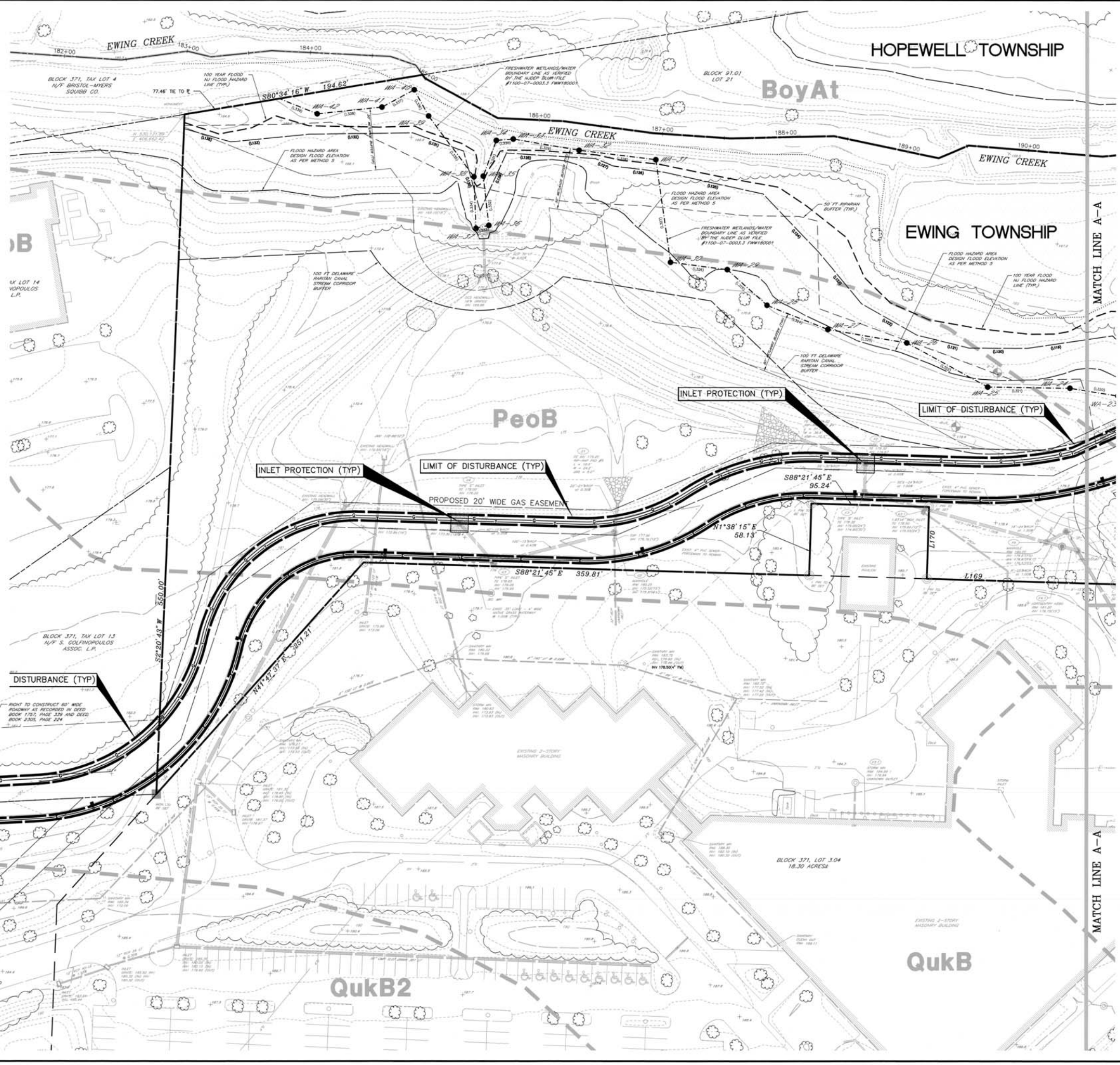
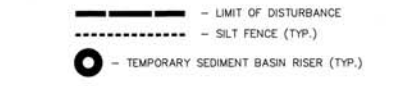
AREA OF DISTURBANCE = 413,242 SF (OR 9.49 AC)
 AREA OF COMPACTION = 74,147 SF (OR 1.70 AC)

NOTE: THIS PLAN IS FOR SOIL EROSION AND SEDIMENT PURPOSES ONLY.

LEGEND



LEGEND



HORIZONTAL DATUM: -

GRAPHIC SCALE

SCALE: 1"=30'

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DATE: _____

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AIRPORT CORPORATE PARK WAREHOUSE

TOWNSHIP OF EWING
MERCER COUNTY
NEW JERSEY

BLOCK 371, LOT 3.05
TAX MAP SHEET 65
22.61± ACRES

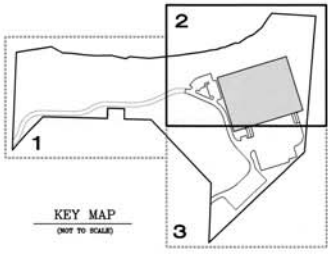
SOIL EROSION & SEDIMENT CONTROL PLAN (1)

DRAWN BY: _____
 CHECKED BY: _____
 APPROVED BY: _____

THIS WORK PREPARED UNDER MY PROFESSIONAL SUPERVISION:

JEFFREY A. LANE
 PROFESSIONAL ENGINEER
 NJ #14 40322

PROJECT NUMBER: 2009-079-01 SE-1
 DATE OF ISSUE: AUGUST 5, 2020
 REVISION: _____



AREA OF DISTURBANCE =
413,242 SF (OR 9.49 AC)
AREA OF COMPACTION =
74,147 SF (OR 1.70 AC)

NOTE: THIS PLAN IS FOR SOIL
EROSION AND SEDIMENT
PURPOSES ONLY.

LEGEND

- LIMIT OF DISTURBANCE
- SILT FENCE (TYP.)
- - TEMPORARY SEDIMENT BASIN RISER (TYP.)

LEGEND

- SOIL COMPACTION TESTING AREAS
- RECOMMENDED SOIL COMPACTION TEST LOCATION (APPROX. 1 PER 1 ACRE, 2 TESTS MINIMUM)

TEMPORARY SEDIMENT
BASIN RISER
(SEE DETAIL)
TOP ELEV.=175.50
INV.(4" ORIFICE)=174.10
INV.(OUT)=173.90

NEW JERSEY STATE HIGHWAY
ROUTE I-95

LIMIT OF DISTURBANCE (TYP.)



HORIZONTAL DATUM: -
GRAPHIC SCALE
0 30 60
SCALE: 1"=30'

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REVISIONS

NO.	DATE	DESCRIPTION

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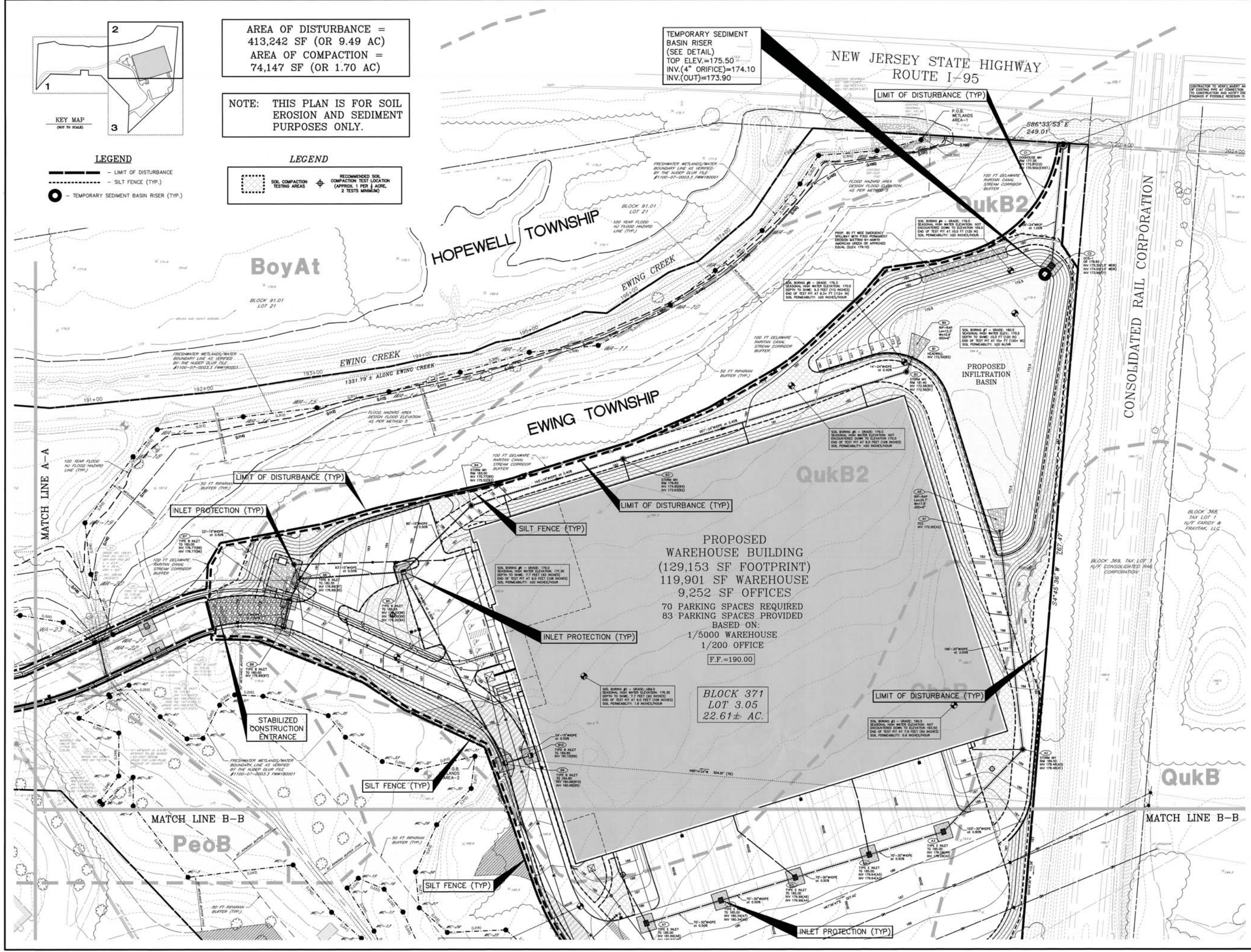
**AIRPORT CORPORATE
PARK
WAREHOUSE**
TOWNSHIP OF EWING
MERCER COUNTY
NEW JERSEY

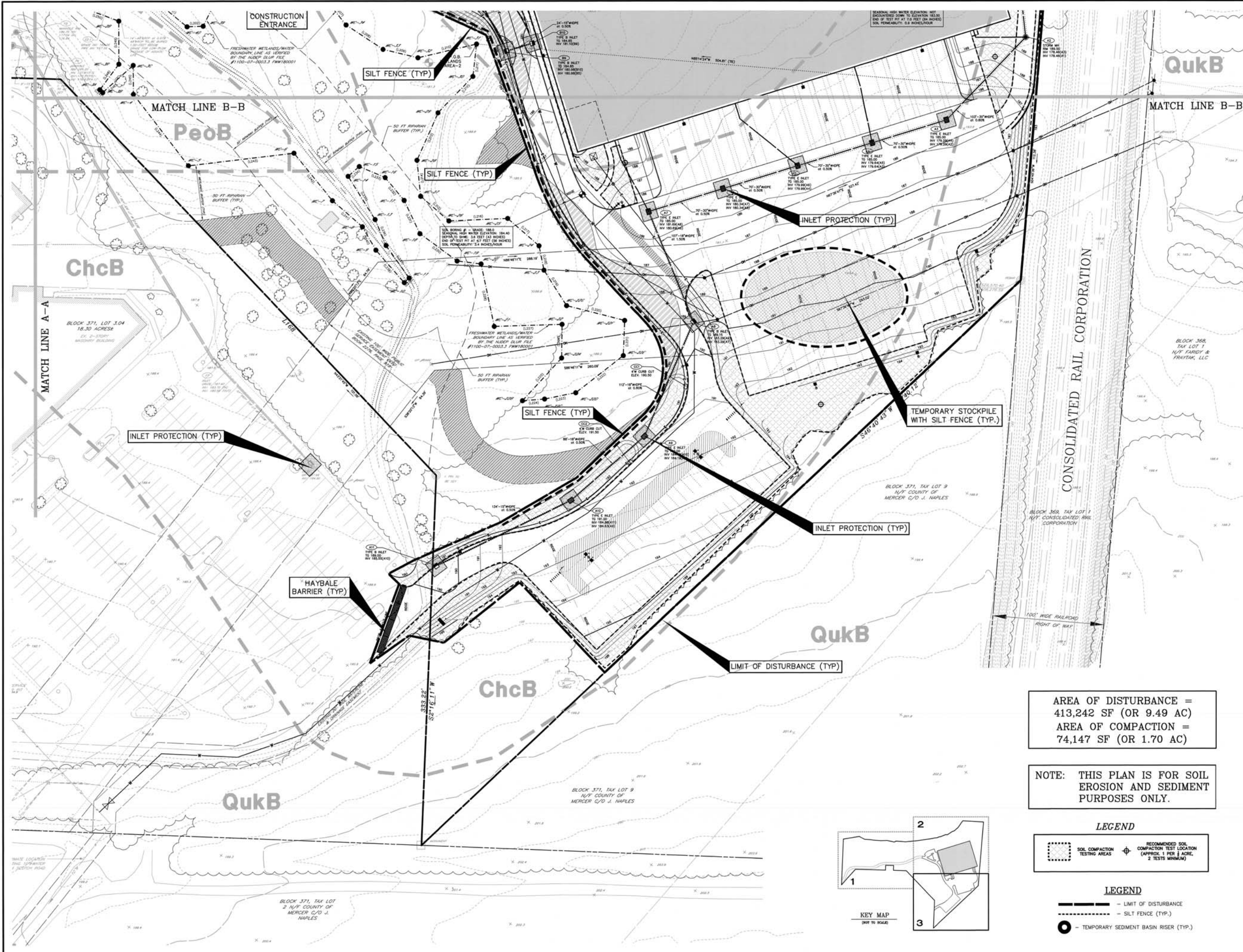
BLOCK 371, LOT 3.05
TAX MAP SHEET 65
22.61± ACRES

**SOIL EROSION
& SEDIMENT
CONTROL PLAN
(2)**

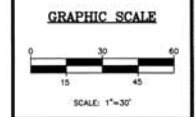
DESIGNED BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]

PROJECT NUMBER: 2009-079-01 SE-2
DATE OF ISSUE: AUGUST 3, 2020
REVISION: 19





HORIZONTAL DATUM =



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 Certificates of Authorization: 246A2781800

NO.	DATE	REVISIONS

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menlo engineering associates

AIRPORT CORPORATE PARK WAREHOUSE

TOWNSHIP OF EWING
 MERCER COUNTY
 NEW JERSEY

BLOCK 371, LOT 3.05
 TAX MAP SHEET 65
 22.61± ACRES

SOIL EROSION & SEDIMENT CONTROL PLAN (3)

DRAWN BY: [Signature]
 DESIGNED BY: [Signature]
 APPROVED BY: [Signature]

THIS WORK PREPARED UNDER MY SUPERVISION BY: [Signature]
 WILFREDO LANE
 PROFESSIONAL ENGINEER
 NJP.E. 12022

PROJECT NUMBER: 2009.079.01 SE-3
 DATE OF ISSUE: AUGUST 5, 2009
 REVISION: 20

AREA OF DISTURBANCE = 413,242 SF (OR 9.49 AC)
 AREA OF COMPACTION = 74,147 SF (OR 1.70 AC)

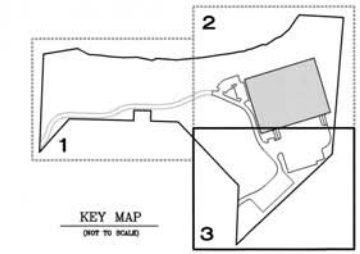
NOTE: THIS PLAN IS FOR SOIL EROSION AND SEDIMENT PURPOSES ONLY.

LEGEND

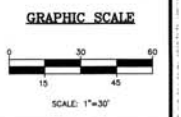
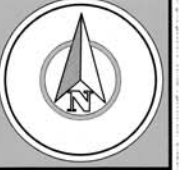
SOIL COMPACTION TESTING AREAS
 RECOMMENDED SOIL COMPACTION TEST LOCATION (APPROX. 1 PER 1/4 ACRE, 2 TESTS MINIMUM)

LEGEND

- LIMIT OF DISTURBANCE
 - SILT FENCE (TYP.)
 - TEMPORARY SEDIMENT BASIN RISER (TYP.)



KEY MAP (NOT TO SCALE)



menlo engineering associates
Civil Engineering Consultants
Landscape Architects
Professional Planners

261 Cleveland Avenue
Highland Park, NJ 08904
menloeng.com | in | fb | tw

732-846-8585 732-846-8439

Certificate of Authorization: 24627851900

REVISIONS

NO.	DESCRIPTION

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O W D BY: _____ DATE: _____



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AIRPORT CORPORATE PARK WAREHOUSE

TOWNSHIP OF EWING
MERCER COUNTY
NEW JERSEY

BLOCK 371, LOT 3.05
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UTILITY PROFILES (1)

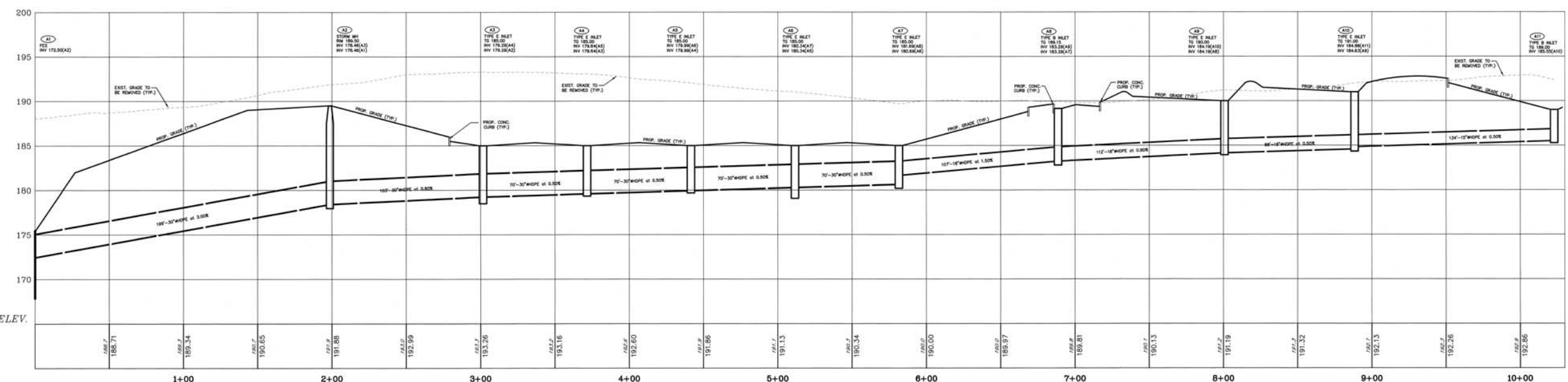
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DESIGNED BY: _____
APPROVED BY: _____

THIS WORK PREPARED UNDER THE SUPERVISION OF:

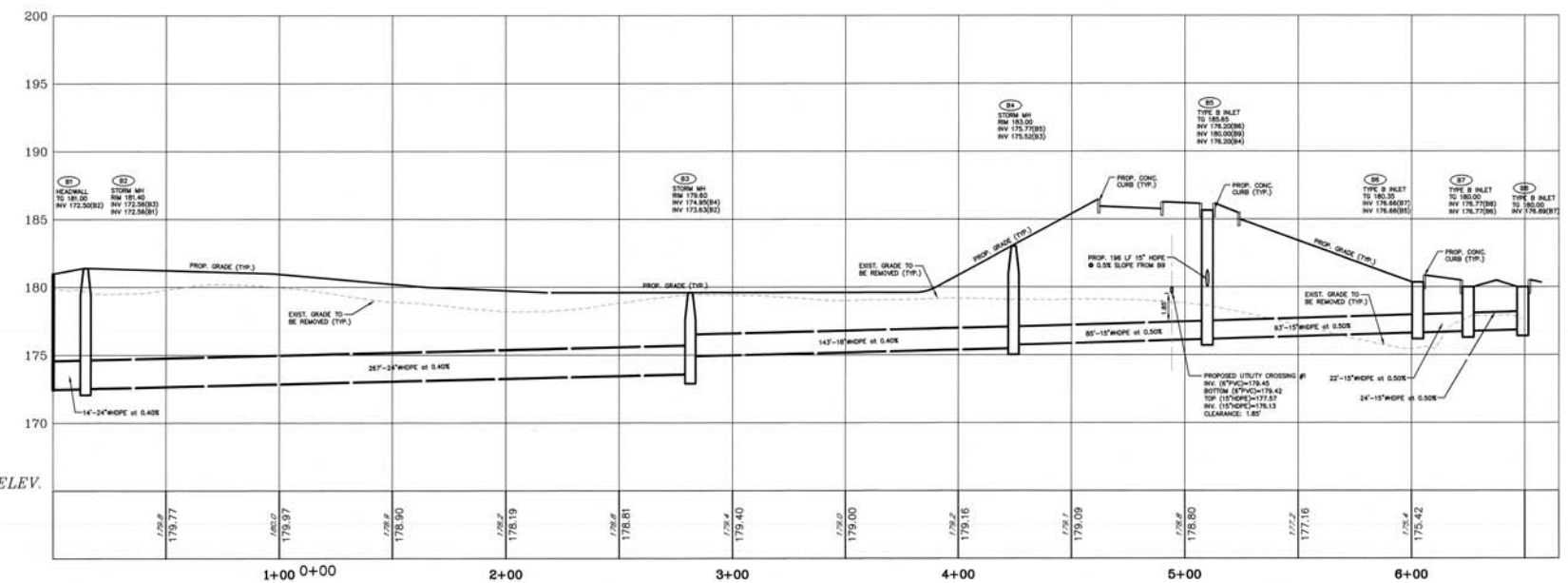
Will LANE
PROFESSIONAL ENGINEER
NJPE# 40262

PROJECT NO: 2009-078-01 UP-1
DATE OF TASK: AUGUST 5, 2020
REGION: _____

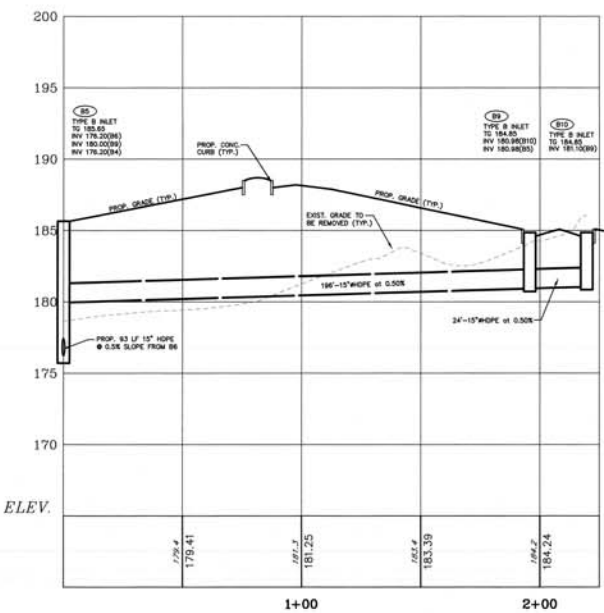
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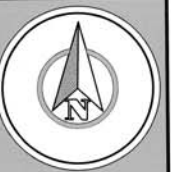
DATUM ELEV. 165.00



DATUM ELEV. 165.00

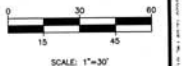


DATUM ELEV. 165.00



HORIZONTAL DATUM: -

GRAPHIC SCALE



SCALE: 1"=30'



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Highland Park, NJ 08904

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732-846-8585 732-846-9439

Certificate of Authorization: 240A2701900

REVISIONS

No.	Description	Date

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CHD BY: _____ DATE: _____



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AIRPORT CORPORATE PARK WAREHOUSE

TOWNSHIP OF Ewing
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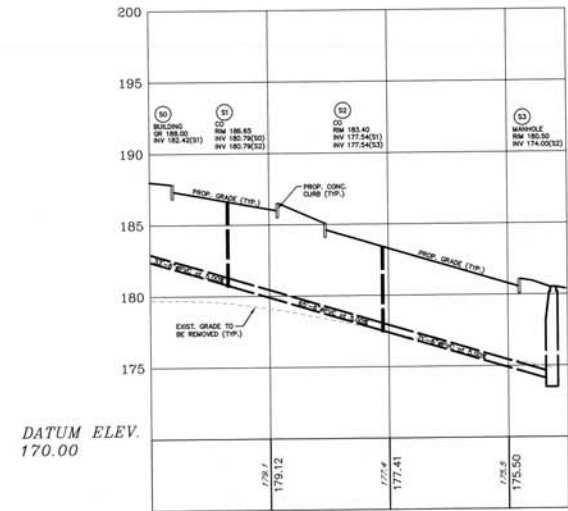
**UTILITY PROFILES
(2)**

DRAWN BY: _____
DESIGNED BY: _____
APPROVED BY: _____

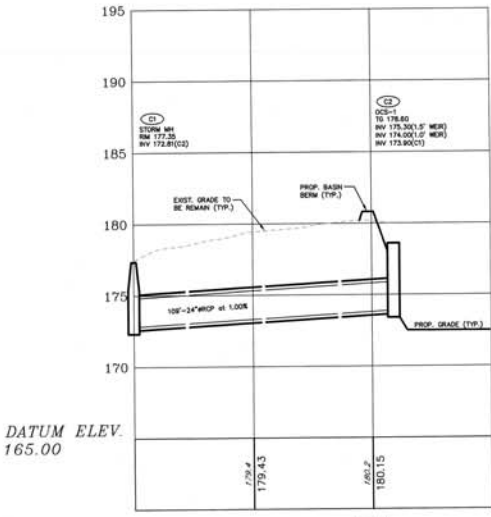
THIS WORK PREPARED UNDER MY PROFESSIONAL SUPERVISION

WILLIAM L. LANE
PROFESSIONAL ENGINEER
N.J.# 42283

PROJECT NUMBER: 2009-079-01
DATE OF TASK: AUGUST 5, 2020
REGION: _____



SANITARY LATERAL PROFILE
H: 1" = 30'
V: 1" = 5'



STORM_C1-C2 PROFILE
H: 1" = 30'
V: 1" = 5'

DATE PLOTTED: 8/21/2020 10:10 AM

PUMP STATION EQUIPMENT			
EQUIPMENT	DESCRIPTION	MANUFACTURER	NOTES
GENERATOR	ONAN OR APPROVED EQUAL	CUMMINS ONAN (800)888-6626 MANUFACTURER DESIGN	-FUEL SOURCE: NATURAL GAS -SIZED TO MAINTAIN FULL STATION OPERATION UPON POWER FAILURE
AUTOMATIC TRANSFER SWITCH	ONAN OR APPROVED EQUAL	CUMMINS ONAN (800)888-6626 MANUFACTURER DESIGN	SIZED MATCHED TO PROPOSED GENERATOR AND STATION POWER REQUIREMENTS
TRASH BASKET	SERIES B118	HALLIDAY PRODUCTS	INCLUDE RAIL SYSTEM, LIFTING CHAIN, RAIL SUPPORTS
PUMPS	SELF-CLEANING SEMI-OPEN CHANNEL IMPELLER TYPE, SUBMERSIBLE	FLYGT (732)-390-2168	SEE SPECIFIC REQUIREMENTS LISTED
CONTROL PANEL	NEMA 4 FOR EXTERIOR USE FLOAT SYSTEM LEVEL CONTROL	TO BE DETERMINED	-SEE SPECIFIC REQUIREMENTS LISTED -COMPLETE ELECTRICAL DRAWING TO BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING
ALARM PANEL	OMNISITE CRYSTAL BALL CELLULAR DIALER	OMNISITE (317) 885-6330	VISUAL AND AUDIO GRAFITE -TO ALARM ON ALL NOTED CONDITIONS -TO NOTIFY LOCAL OFFICIALS AS DIRECTED BY THE CITY AND ALSO TO NOTIFY SERVICE COMPANY REPRESENTATIVE
FLOW METER	MAGNETIC FLOW METER	SPARLING TIGERMAG (800) 336-2741	REMOTE SENSING WITH RECORDER
AIR RELEASE VALVE	VALMATIC AIR RELEASE VALVE	VALMATIC (630)944-7600	RELEASE UNWANTED AIR POCKETS DURING SYSTEM OPERATION
PUMP STATION BUILDING	REFER TO ARCHITECTURALS OR SHOP DRAWINGS OF PREFAB UNIT FOR SPECIFIC EQUIPMENT AND DETAIL	TO BE DETERMINED	REFER TO SCHEMATIC FOR INCLUDED EQUIPMENT AND FEATURES
WET WELL / VALVE BOX	PRECAST STRUCTURES	TO BE DETERMINED	TO BE DESIGNED IN ACCORDANCE WITH ALL ASTM REQUIREMENTS. BASE AND FIRST RISER SECTION TO BE CAST MONOLITHIC.
ACCESS HATCHES	ACCESS HATCHES (S25) HALLIDAY PRODUCTS FOR APPROVED EQUAL	HALLIDAY PRODUCTS (800) 298-1027	-REFER TO PLANS FOR SIZES -ALL HATCHES TO INCLUDE SAFETY NETS
PORTABLE DAVIT CRANE	TERN SERIES 5124 PORTABLE DAVIT CRANE WITH M2 WINCH OPTION	TERN INCORPORATED (800) 843-7648	-USE WALL MOUNTED SOCKET BASE -STORE CRANE IN GENERATOR BUILDING

CONTROL PANEL(S):

- NEMA 4 (DEAD FRONT PANEL W/ S.S. PAD LOCK AND HASP), FOR INTERIOR PANELS SHALL INCLUDE:
 - LIGHTNING ARRESTOR AHEAD OF CONTROL PANEL (IF REQUIRED BY CODE)
 - NON-FUSIBLE SAFETY SERVICE DISCONNECT (INCOMING POWER)
 - BREAKER TYPE BRANCH CIRCUIT PROTECTION
 - DUPLEX SERVICE RECEPTACLES (20 AMP-GFI)
 - INTRINSICALLY SAFE RELAYS
 - MANUAL TRANSFER SWITCH (PRIME SOURCE TO GENERATOR)

PUMP CONTROLS:

- DUPLEX CONFIGURATION
- PUMP OVERLOAD PROTECTION
- HAND/OFF/AUTO SELECTOR FOR EACH PUMP
- AUTOMATIC ALTERATION OF PUMPS
- PUMP RUN LIGHTS
- INDIVIDUAL RUNTIME METERS
- AUTOMATIC TRANSFER FROM NON-OPERATING PUMP
- COMPLETE ELECTRICAL DRAWINGS TO BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING

ALARM SYSTEM (OMNISITE CRYSTAL BALL CELLULAR DIALER OR APPROVED EQUAL)

GENERATOR

- SHALL INCLUDE A CONTROL PANEL WITH:
 - INDICATING LIGHTS
 - JOG BUTTON
 - AMMETER
 - CYCLE METER
 - VOLTMETER
 - RUN TIME METER
 - VOLTAGE DROP PROTECTION
 - TIME DELAY AT START (0-60 SEC)
 - TIME DELAY FOR LOAD TRANSFER (0-60 SEC)
 - TIME DELAY FOR RETRANSFER (0-60 SEC)
 - TIME DELAY TO OFF FOR COOL DOWN (0-60 SEC)
 - AUTOMATIC TRANSFER SWITCH FOR TOTAL PACKAGE RESPONSIBILITY

ALARM SYSTEM

- ALARM LIGHT (RED-FLASHING)
 - AUDIBLE ALARM WITH SILENCE BUTTON
 - SIGN CONTAINING EMERGENCY CONTACT AND PHONE NUMBER SHALL BE PLACED ALONG WITH THE CONTROL PANEL IN AN OBVIOUS LOCATION
 - BATTERY BACKUP FOR ALARM SYSTEM IN CASE OF POWER FAILURE
- ALARM ON THE FOLLOWING CONDITIONS:**
- HIGH HIGH WATER
 - HIGH WATER
 - LOW WATER
 - PUMP FAILURE
 - POWER FAILURE
 - SINGLE PHASE POWER FAILURE
 - SEAL FAILURE
 - GENERATOR FAILURE (START FAILURE, PHASE FAILURE)
 - COMMUNICATOR FAILURE (MOTOR FAILURE, JAM)

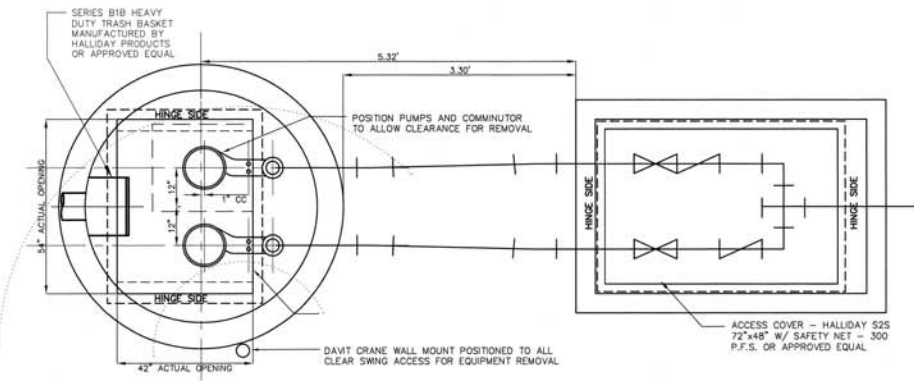
ALARM TO NOTIFY LOCAL OFFICIALS AS DIRECTED BY THE CITY AND ALSO TO NOTIFY SERVICE COMPANY REPRESENTATIVE.

GENERAL NOTES:

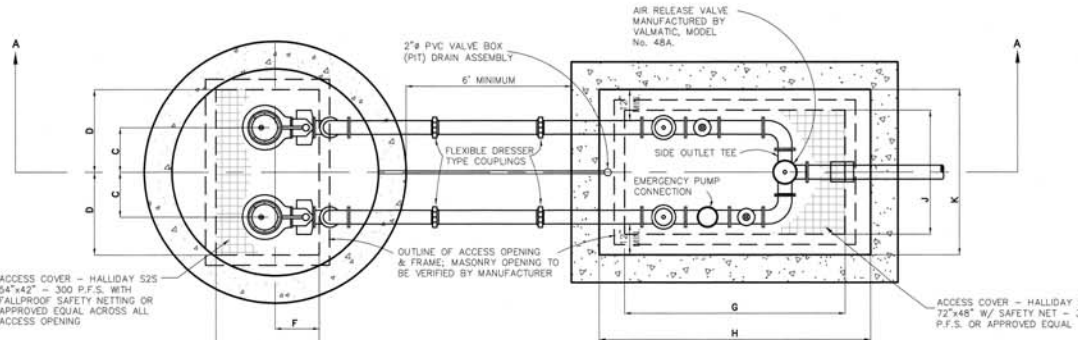
1. ALL EXPOSED METAL SHALL BE PAINTED WITH 2 COATS OF CORROSION RESISTANT EPOXY PAINT.
2. WET WELL AND VALVE VAULT SHALL BE COATED WITH EP214 EPOXIMAST TYPE 351 INSIDE AND OUT (2 COATS, 9 MILS EACH).
3. BASE AND FIRST RISER UNIT TO BE CAST MONOLITHIC.
4. VALVE VAULT SHALL HAVE SEALED FLOOR AND DRAIN.
5. ALL LOCATIONS WHERE PIPES ENTER OR LEAVE THE WET WELL SHALL BE MADE WATER TIGHT WITH LINK SEALS.
6. THERE SHALL BE NO VALVES OR ELECTRICAL JUNCTION BOXES IN THE WET WELL.
7. ALL HARDWARE SHALL BE STAINLESS STEEL UNLESS OTHERWISE NOTED.
8. FORCE MAIN SHALL HAVE RESTRAINED JOINTS OR THRUST BLOCKS.
9. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
10. THE CONTRACTOR IS REQUIRED TO OBTAIN AND COMPLY WITH ALL REQUIRED CONSTRUCTION PERMITS.
11. PRECAST CONCRETE STRUCTURES ARE TO BE DESIGNED AND BUILT IN ACCORDANCE WITH ALL ASTM DESIGN STANDARDS. SHOP DRAWINGS TO BE SUBMITTED TO ENGINEER PRIOR TO ORDERING.
12. A 6" HIGH SOLID VINYL FENCE SHALL BE PROVIDED AS NOISE DAMPER FOR THE ENCLOSURE.
13. IF NEEDED A CARBON SCRUBBER SHALL BE PROVIDED AT THE MANHOLE VENT TO HELP CONTROL ODORS.



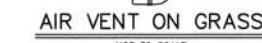
TERN SOCKET BASE #034F OR EQUIVALENT
NOT TO SCALE



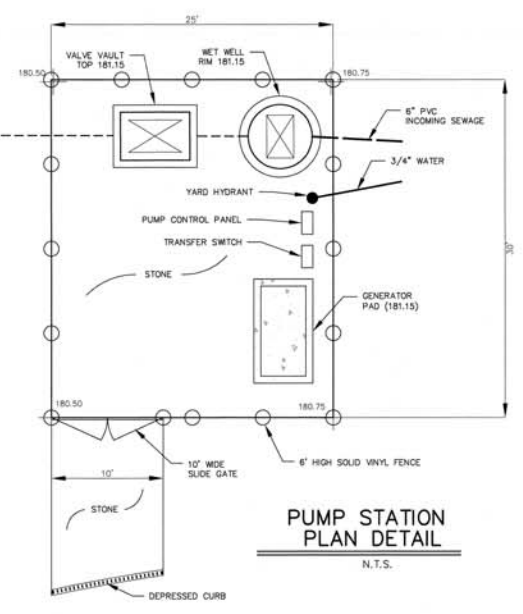
PUMP AND HATCH LOCATIONS
NOT TO SCALE



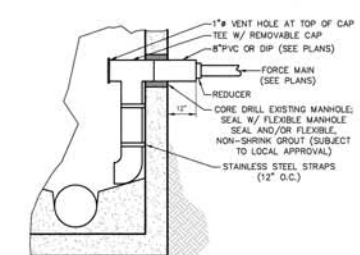
PLAN
NOT TO SCALE



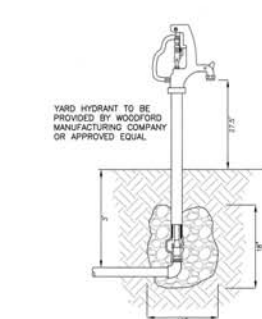
AIR VENT ON GRASS
NOT TO SCALE



PUMP STATION PLAN DETAIL
N.T.S.



(INSIDE DROP CONNECTION) F.M. CONNECTION TO EXISTING MANHOLE
N.T.S.

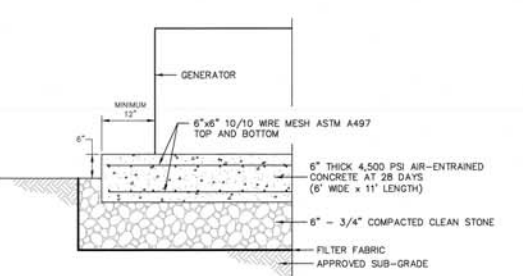


YARD HYDRANT DETAIL
N.T.S.

PUMP STATION DATA

DIM	SIZE	ELEV	VALUE
DIM A	8"	ELEV A	181.15
DIM B	60"	ELEV B	166.25
DIM C	12"	ELEV C	167.60
DIM D	27"	ELEV D	168.70
DIM E	48"	ELEV E	168.80
DIM F	16"	ELEV F	170.00
DIM G	72"	ELEV G	181.15
DIM H	84"	ELEV H	175.55
DIM J	48"	ELEV J	172.00
DIM K	54"	ELEV K	174.20

PUMP SPECIFICATIONS:
PUMPS SHALL BE: 2 NON-CLOG SUBMERSIBLE SEMI-OPEN CHANNEL IMPELLER
MANUFACTURER: FLYGT
MODEL: NP 3085 SH 3- ADAPTIVE 453
SPEED: 1850 RPM DISCHARGE SIZE: 3-1/8" VOLTAGE: 220 VOLTS
RATED CURRENT: 7 A; PHASE: 3; HP: 2.2 MIN SOLID SIZE: 3"
OPERATING CONDITIONS: 100 GPM AT 18.2 FEET TDH



GENERATOR CONCRETE SLAB DETAIL
N.T.S.

CONSTRUCTION DETAIL NOTES

1. ALL TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. ALL CONSTRUCTION DETAILS SHALL BE SUBMITTED BY APPROVED MUNICIPAL COUNTY OR STATE ENGINEER FOR ALL WALLS AND STRUCTURAL ELEMENTS PRIOR TO CONSTRUCTION.
3. SHOP DRAWINGS SHALL BE PROVIDED FOR ALL PRECAST STRUCTURES PRIOR TO THE ORDERING OF MATERIALS.
4. DETAILS ASKING APPROPRIATE LOAD BEARING CAPACITY AND COMPACTOR OF SOILS ACTUAL FIELD CONDITIONS SHALL BE CONFIRMED BY ON-SITE GEOTECHNICAL ENGINEER.
5. RESIDENTIAL DEVELOPMENTS SHALL CONFORM TO DETAILS WITHIN THE CURRENT EDITION OF THE RESIDENTIAL SITE IMPROVEMENT STANDARDS (R.S.I.S.).
6. ALL CONSTRUCTION DETAILS ARE NOT TO SCALE (N.T.S.) UNLESS OTHERWISE NOTED.

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Civil Engineering Consultants
Landscape Architects
Professional Planners
291 Cleveland Avenue
Highland Park, NJ 08904
menloeng.com
732-846-8585 732-846-8439
Certificate of Authorization: 24042791800

REVISIONS

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AIRPORT CORPORATE PARK WAREHOUSE

TOWNSHIP OF EWING
MERCER COUNTY
NEW JERSEY

BLOCK 371, LOT 3.05
TAX MAP SHEET 65
22.61± ACRES

PUMP STATION DETAILS

DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____

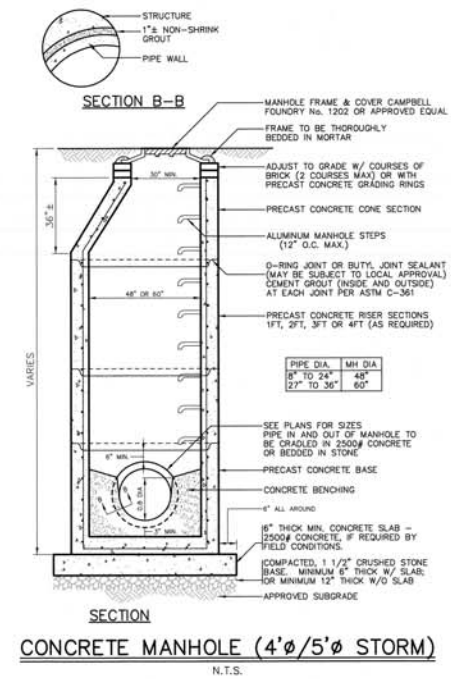
THIS WORK PREPARED UNDER MY PROFESSIONAL SEAL AND SIGNATURE
WILLIAM J. LANE
REGISTERED PROFESSIONAL ENGINEER
NO. 14402

PROJECT NUMBER: 2009-079-01 SPS-1
DATE OF ISSUE: AUGUST 5, 2009
REVISION: _____

24

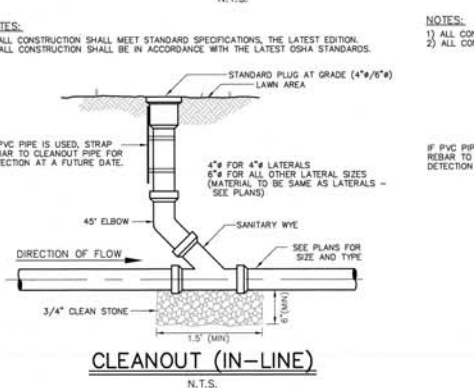
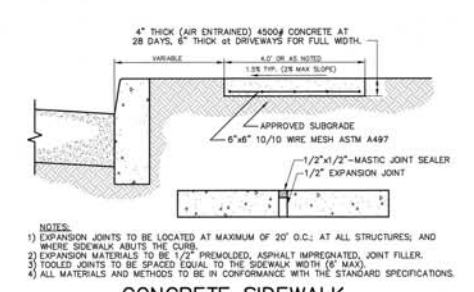
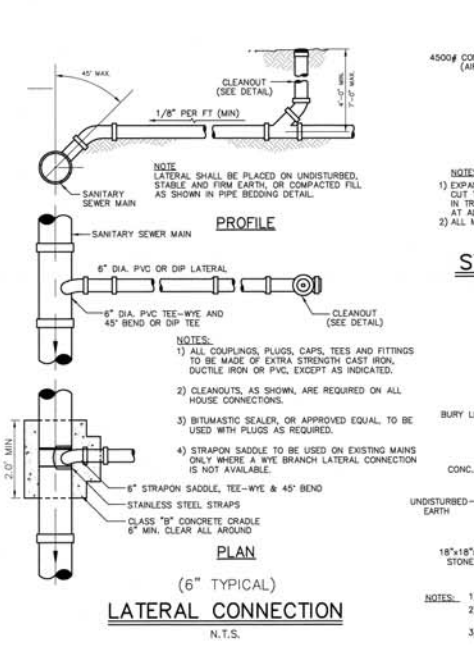
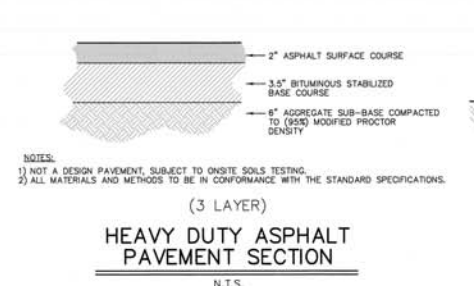
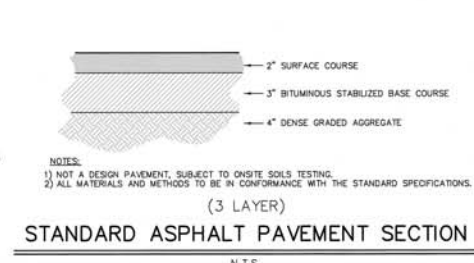
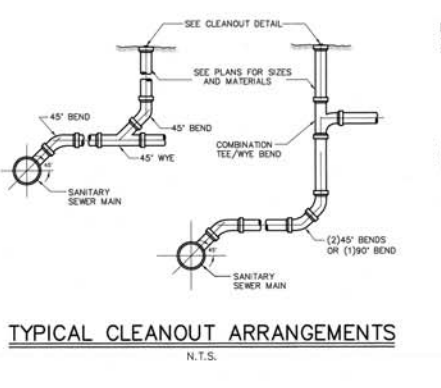
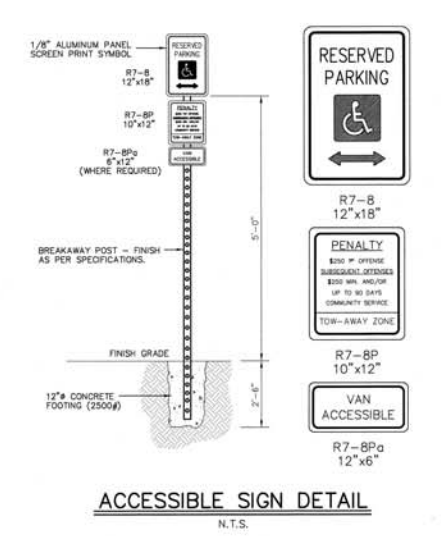
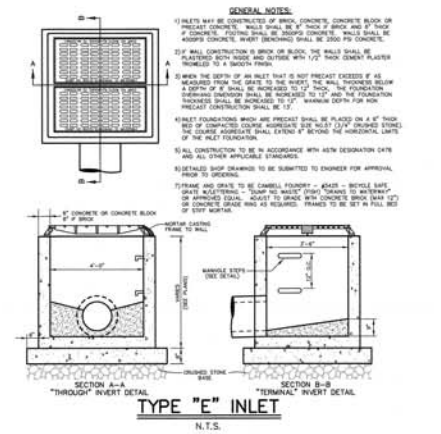
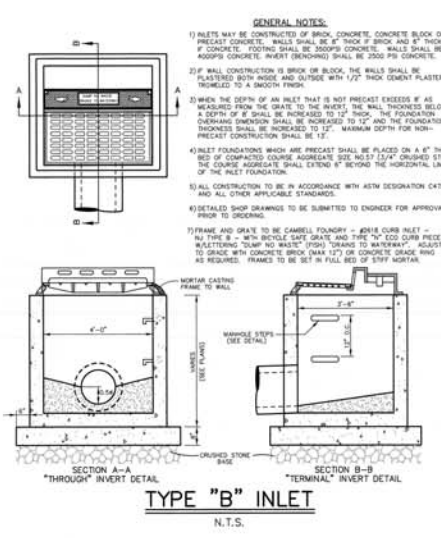
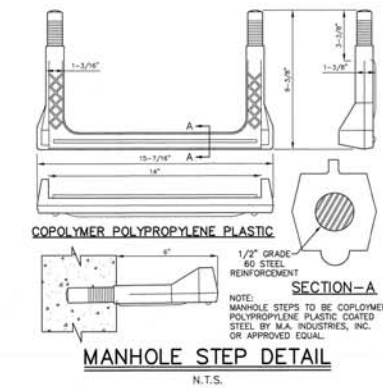
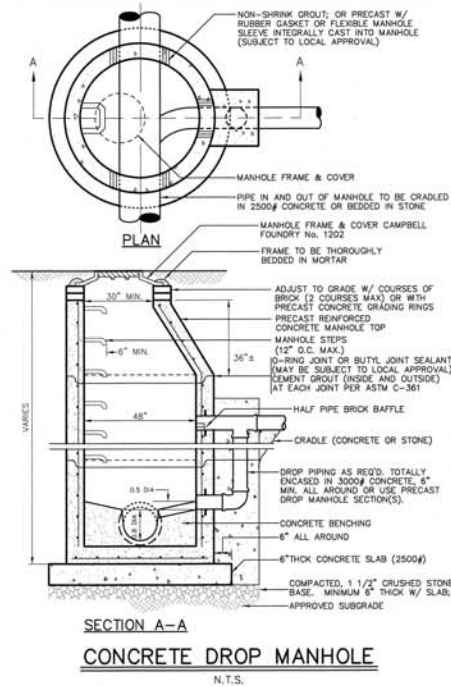
MANHOLE NOTES:

- 1) ALL CONSTRUCTION SHALL MEET STANDARD SPECIFICATIONS, THE LATEST EDITION.
- 2) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST OSHA STANDARDS.
- 3) EXTERIOR SURFACES SHALL BE PAINTED WITH TWO (2) COATS OF BITUMINOUS WATERPROOFING MATERIAL.
- 4) CONCRETE AND REINFORCEMENT TO BE IN ACCORDANCE WITH ASTM C478, THE LATEST EDITION.
- 5) DETAILED SHOP DRAWINGS TO BE SUBMITTED TO ENGINEER PRIOR TO ORDERING.



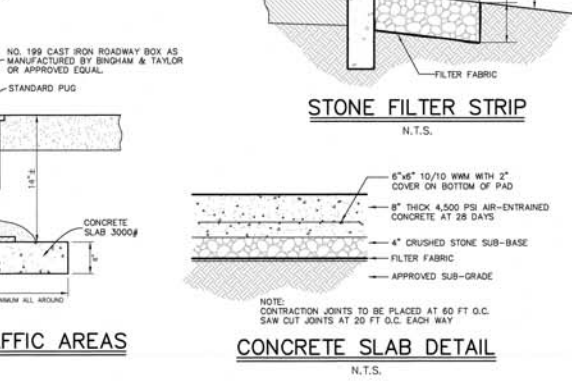
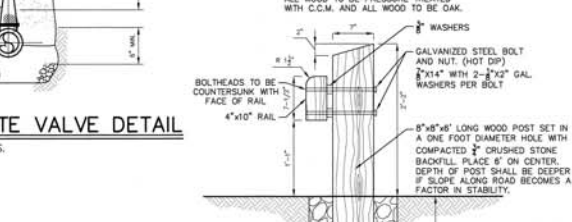
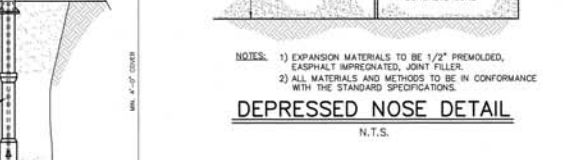
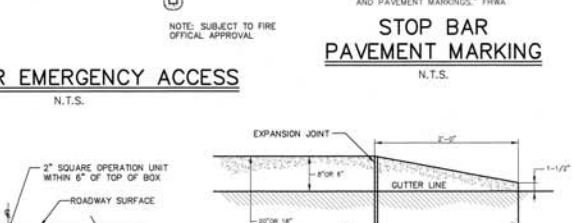
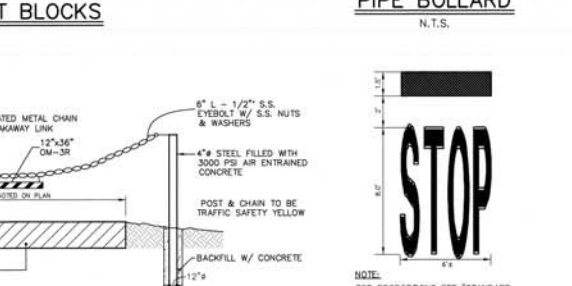
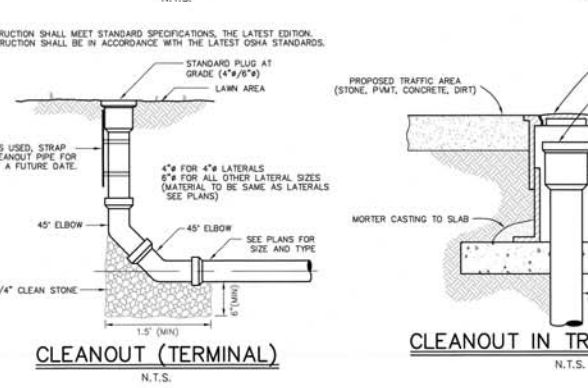
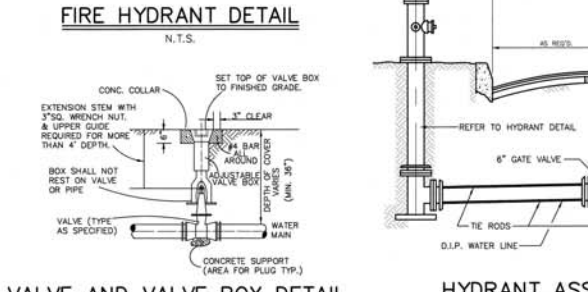
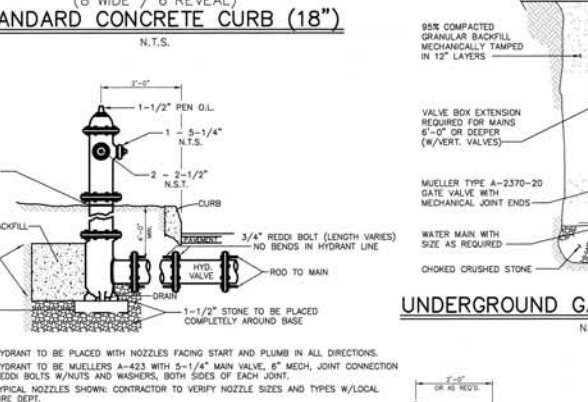
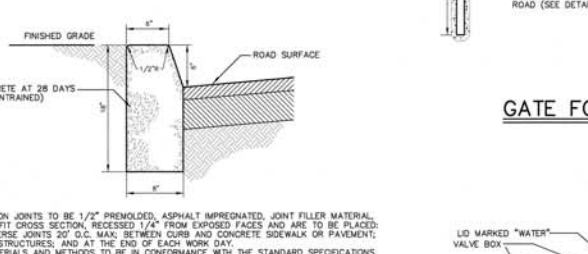
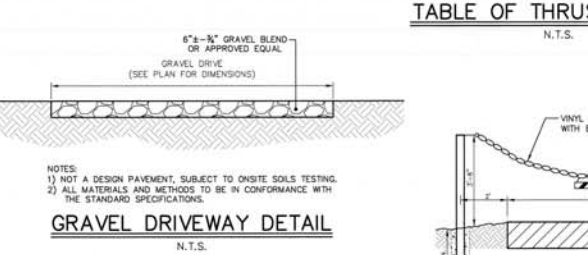
MANHOLE NOTES:

- 1) ALL CONSTRUCTION SHALL MEET STANDARD SPECIFICATIONS, THE LATEST EDITION.
- 2) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST OSHA STANDARDS.
- 3) EXTERIOR SURFACES SHALL BE PAINTED WITH TWO (2) COATS OF BITUMINOUS WATERPROOFING MATERIAL.
- 4) CONCRETE AND REINFORCEMENT TO BE IN ACCORDANCE WITH ASTM C478, THE LATEST EDITION.
- 5) DETAILED SHOP DRAWINGS TO BE SUBMITTED TO ENGINEER PRIOR TO ORDERING.



DIAMETER (IN)	22 1/2" ELBOW	45° ELBOW	90° ELBOW	TEE CONNECTION	45° DWY	PLUG
4"	0.5	1.4	2.6	1.8	2.2	2.0
6"	1.5	3.0	6.0	4.0	4.5	4.5
8"	2.5	5.0	9.5	6.5	7.5	8.0
10"	4.1	8.0	13.0	9.5	12.5	12.5
12"	5.5	11.5	19.0	13.5	16.0	16.0
16"	9.0	18.0	33.0	23.0	27.0	33.0
20"	14.0	28.0	51.0	38.0	42.0	50.5

A-CONTACT BEARING AREA OF BLOCK WITH EARTH, SQUARE FEET



CONSTRUCTION DETAIL NOTES

1. ALL TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
2. ALL CONSTRUCTION DETAILS SHALL BE APPROVED BY THE TOWNSHIP ENGINEER, COUNTY OF STATE STRUCTURAL DETAILS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. SHOP DRAWINGS SHALL BE PROVIDED TO THE TOWNSHIP ENGINEER FOR ALL WALLS AND STRUCTURAL ELEMENTS PRIOR TO CONSTRUCTION.
3. SHOP DRAWINGS SHALL BE PROVIDED FOR ALL PRECAST STRUCTURES PRIOR TO THE ORDERING OF MATERIALS.
4. DETAILS ASSUME APPROPRIATE LOAD BEARING CAPACITY AND COMPACTED SOILS. ACTUAL FIELD CONDITIONS SHALL BE CONFIRMED BY ON-SITE GEOTECHNICAL ENGINEER.
5. RESIDENTIAL DEVELOPMENTS SHALL CONFORM TO DETAILS WITHIN THE CURRENT EDITION OF THE RESIDENTIAL SITE MOVEMENT STANDARDS (R.S.I.S.).
6. ALL CONSTRUCTION DETAILS ARE NOT TO SCALE (N.T.S.) UNLESS OTHERWISE NOTED.

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menloeng.com
732-846-8585 732-846-8439
Certificate of Authorization: 1542799300

REVISIONS

NO.	DATE	DESCRIPTION

THIS DRAWING IS FOR PERMIT PURPOSES ONLY
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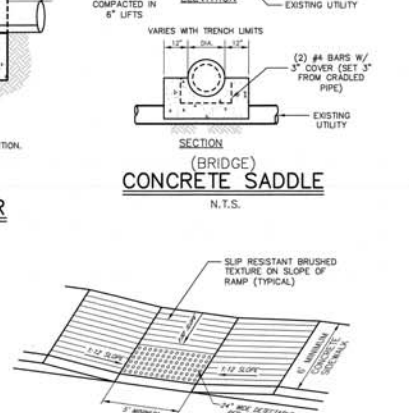
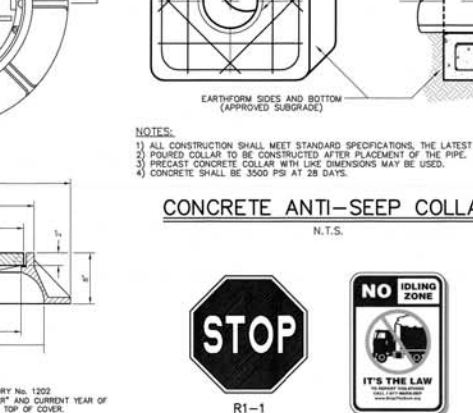
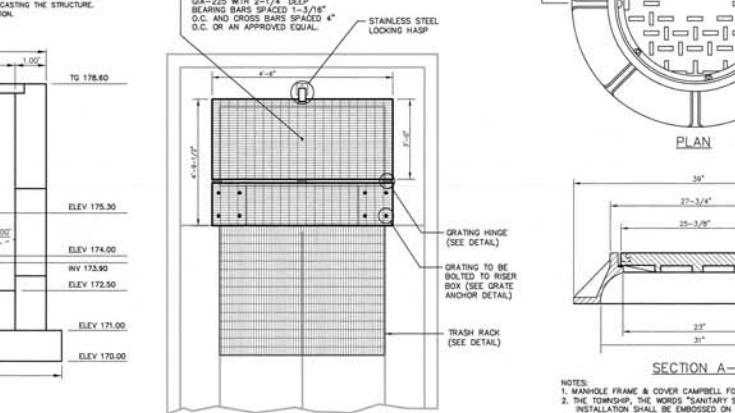
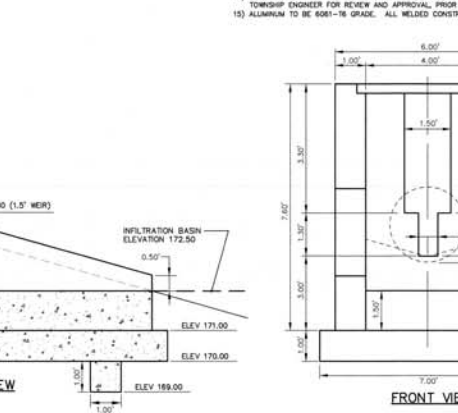
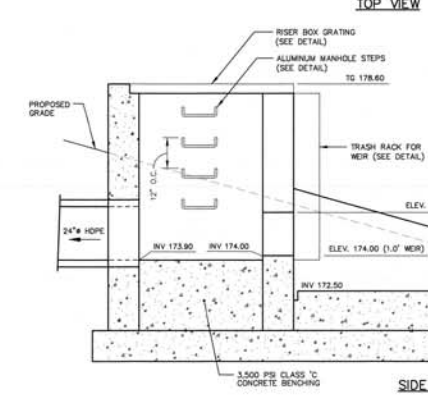
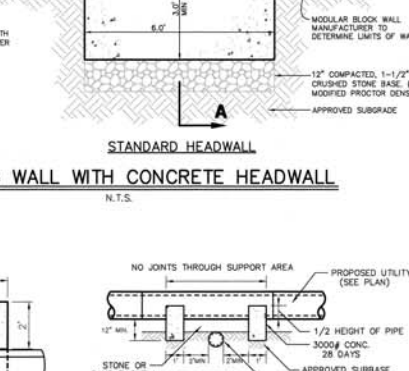
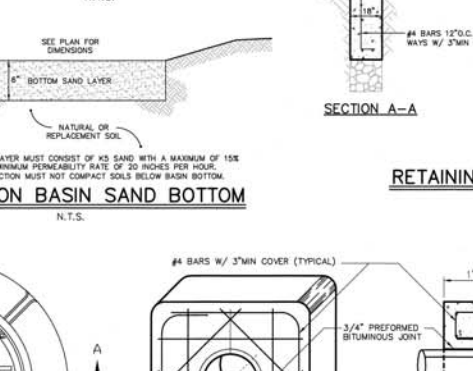
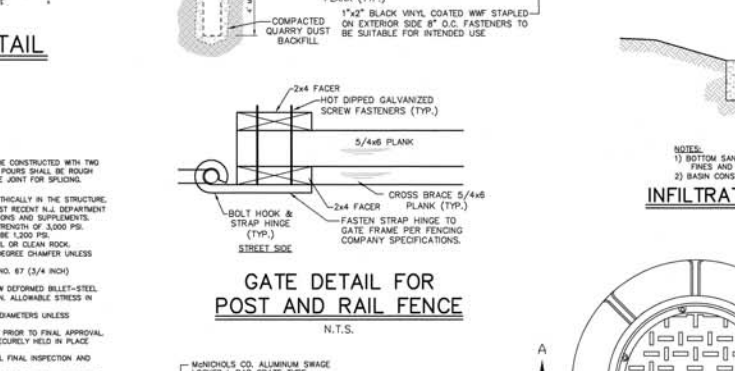
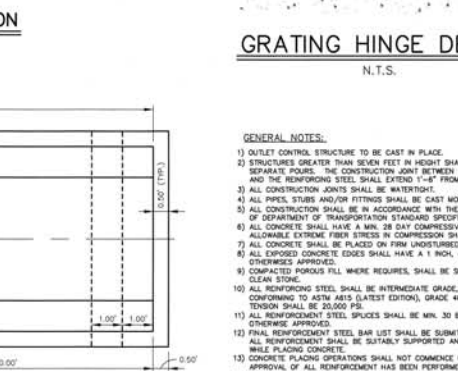
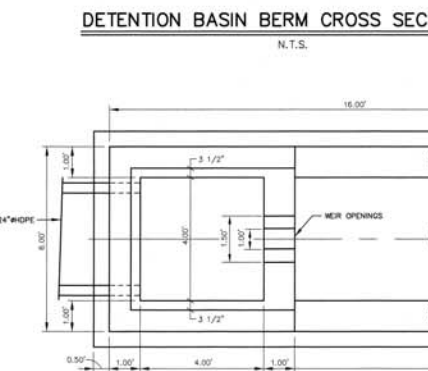
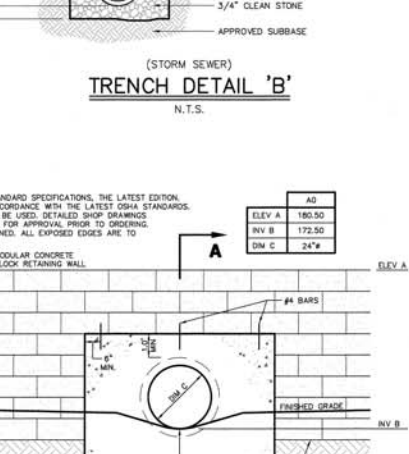
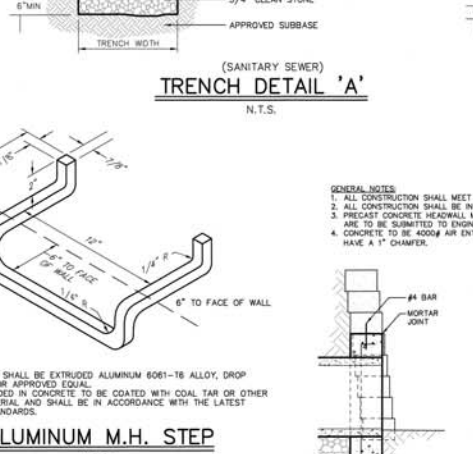
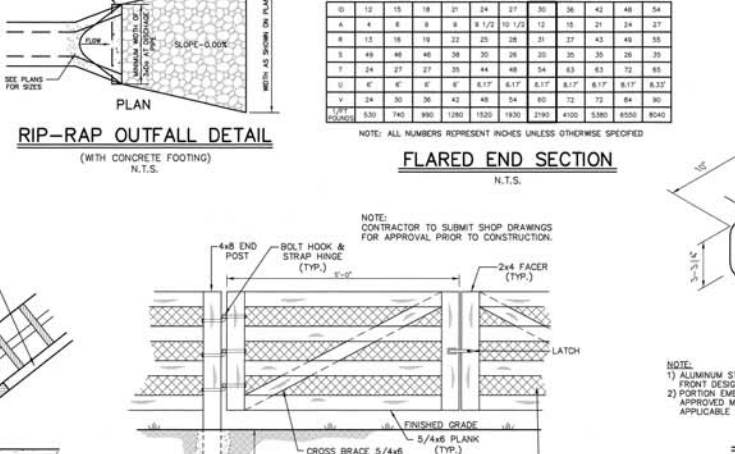
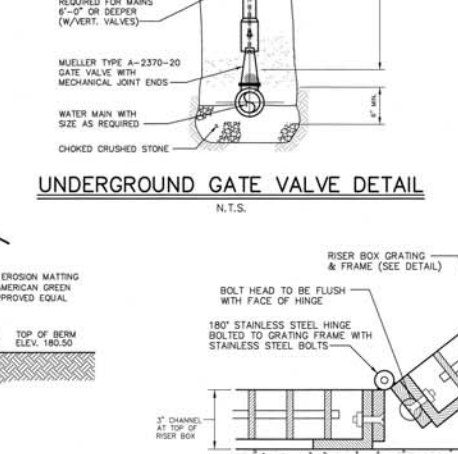
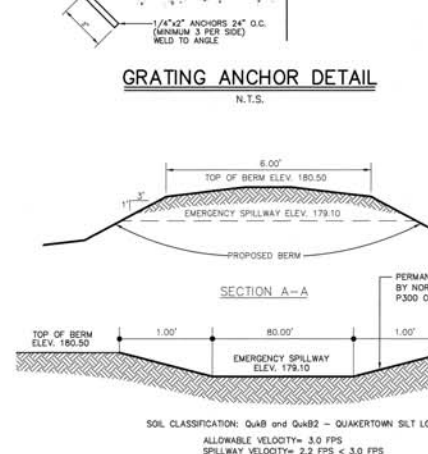
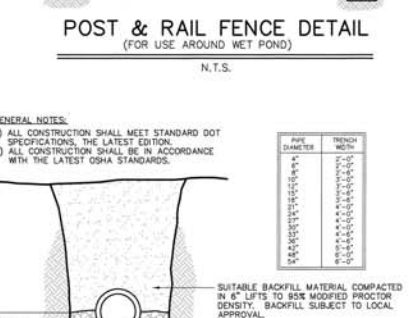
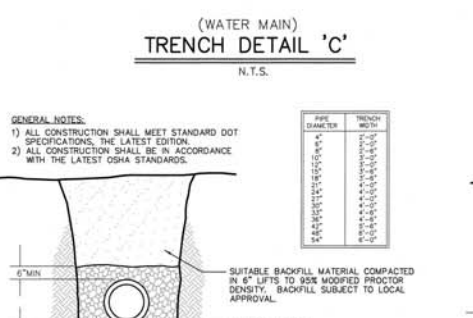
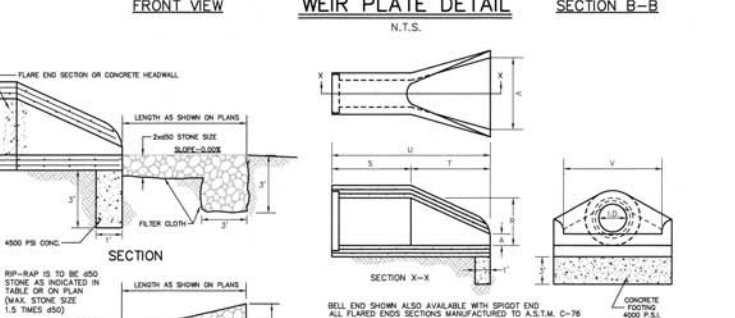
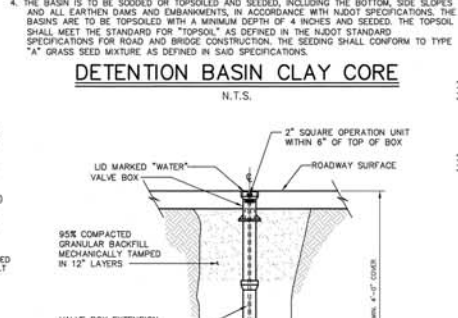
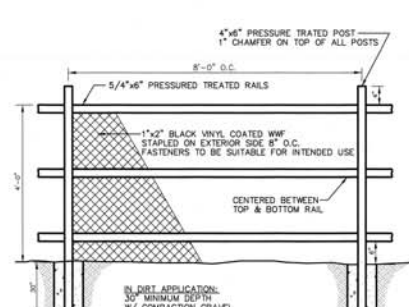
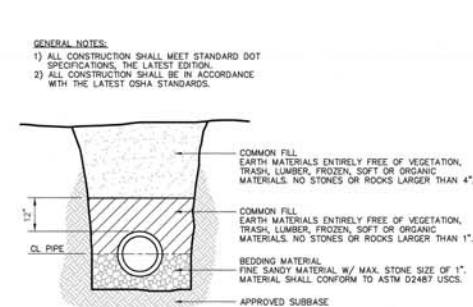
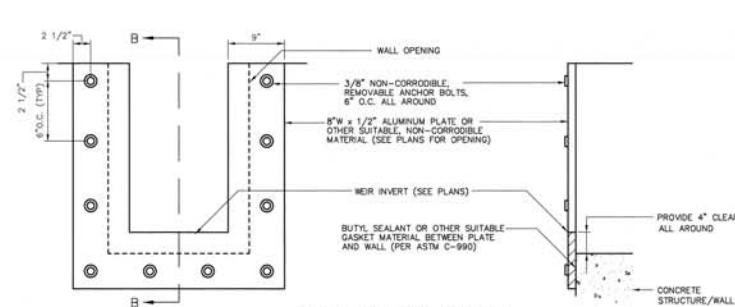
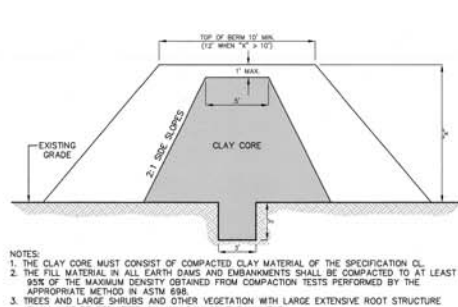
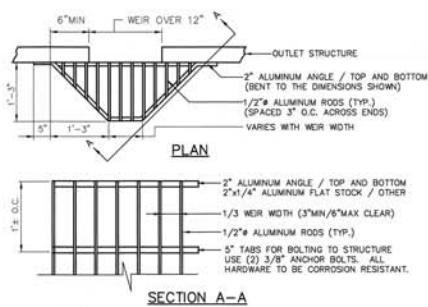
AIRPORT CORPORATE PARK WAREHOUSE
TOWNSHIP OF EWING
MERCER COUNTY
NEW JERSEY
BLOCK 371, LOT 3.05
TAX MAP SHEET 65
22.61± ACRES

DETAIL SHEET (1)

DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____

THIS SHEET PREPARED UNDER THE SUPERVISION OF
THOMAS A. LANE
PROFESSIONAL ENGINEER
LICENSE # 42322

PROJECT: 2008.079.01 DE-1
DATE OF ISSUE: AUGUST 5, 2020
REVISION: _____



CONSTRUCTION DETAIL NOTES

1. ALL TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. ALL CONSTRUCTION DETAILS SHALL BE SUPERVISED BY A PROFESSIONAL ENGINEER OR ARCHITECT. ALL STRUCTURAL DETAILS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. SHOP DRAWINGS SHALL BE PROVIDED TO THE TOWNSHIP ENGINEER FOR ALL WALLS AND STRUCTURAL ELEMENTS PRIOR TO CONSTRUCTION.
3. SHOP DRAWINGS SHALL BE PROVIDED FOR ALL PRECAST STRUCTURES PRIOR TO THE ORDERING OF MATERIALS.
4. DETAILS ASSUME APPROPRIATE LOAD BEARING CAPACITY AND COMPACTION OF SOILS. ACTUAL FIELD CONDITIONS SHALL BE DETERMINED BY ON-SITE GEOTECHNICAL ENGINEER.
5. RESIDENTIAL DEVELOPMENTS SHALL CONFORM TO DETAILS WITHIN THE CURRENT EDITION OF THE RESIDENTIAL SITE APPROVMENT STANDARDS (R.S.I.S.).
6. ALL CONSTRUCTION DETAILS ARE NOT TO SCALE (N.T.S.) UNLESS OTHERWISE NOTED.

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REVISIONS

NO.	DATE	DESCRIPTION

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THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY EXCAVATORS, GEOTECHNICAL OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

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AIRPORT CORPORATE PARK WAREHOUSE
TOWNSHIP OF EWING
MERCER COUNTY
NEW JERSEY
BLOCK 371, LOT 3.05
TAX MAP SHEET 65
22.61± ACRES

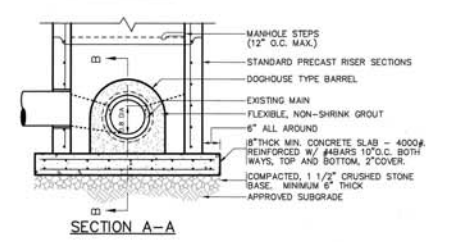
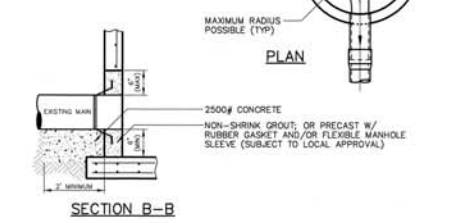
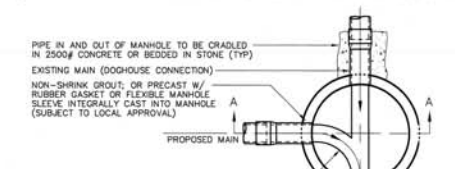
DETAIL SHEET (2)

DRAWN BY: _____
REVIEWED BY: _____
APPROVED BY: _____

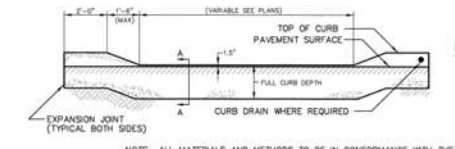
PROJECT NUMBER: 2009.079.01 DE-3
DATE OF ISSUE: AUGUST 5, 2009
REVISION: _____

MANHOLE NOTES:

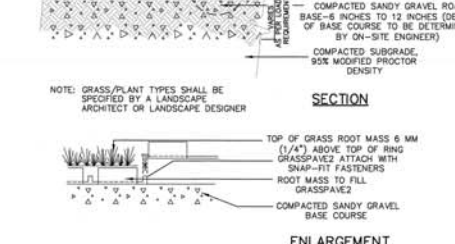
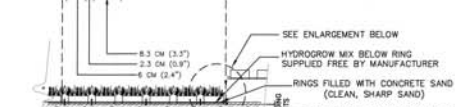
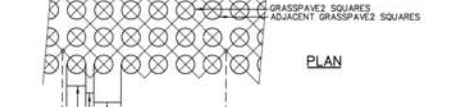
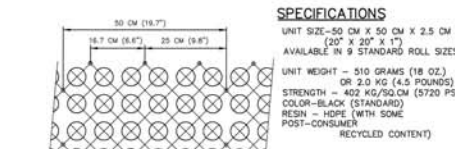
- 1) ALL CONSTRUCTION SHALL MEET STANDARD SPECIFICATIONS, THE LATEST EDITION.
2) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST OSHA STANDARDS.
3) EXISTING SURFACES SHALL BE PAINTED WITH TWO (2) COATS OF BITUMINOUS WATERPROOFING MATERIAL.
4) CONCRETE AND REINFORCEMENT TO BE IN ACCORDANCE WITH ASTM CATER, THE LATEST EDITION.
5) DETAILED SHOP DRAWINGS TO BE SUBMITTED TO ENGINEER FOR APPROVAL PRIOR TO ORDERING.



CONCRETE MANHOLE (DOGHOUSE)
N.T.S.



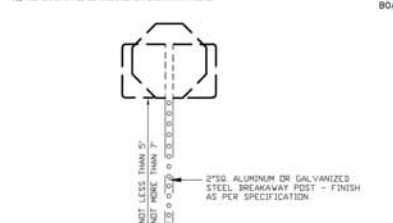
DEPRESSED CURB
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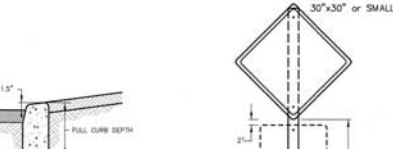
FIRE LANE STRIPING
N.T.S.

NOTES:

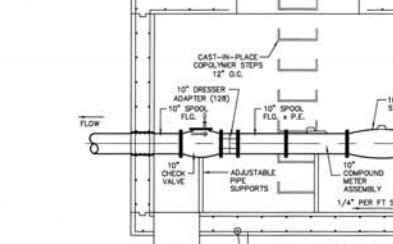
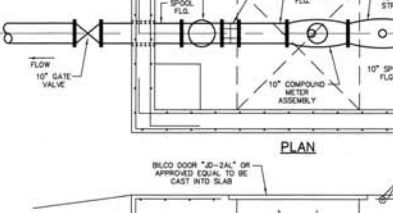
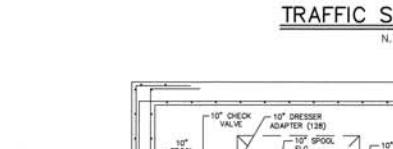
- 1) ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ELEVATION AS STATED IN THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
2) ALL STEEL POSTS AND BRACKETS SHALL BE CUT, BENT AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH CORROSION RESISTANCE SPECIFICATIONS A 153.
3) POSTS MAY BE STEEL OR 3/4" PRECAST STEEL IN CONFORMANCE WITH THE NOTES BELOW.
4) SIGN PANEL SIZES SHALL DETERMINE POST TYPE AND NUMBER AS SHOWN ON THIS DETAIL.
5) BOLTS SHALL NOT PROTRUDE MORE THAN 1/4" BEYOND THE NUT BUT SHALL ENGAGE ALL THREADS IN THE NUT.
6) SIDE OF PAVEMENT TO BOTTOM OF SIGN SHALL BE 3 FEET MINIMUM.
7) FOR SINGLE POST INSTALLATIONS, THE MINIMUM DISTANCE FROM BOUNDARY TO THE TOP OF SIGN SHALL BE 9 FEET.
8) PERMANENT SIGN SUPPORTS SHALL NOT BE INSTALLED ON SLOPES GREATER THAN 10% UNLESS BEHIND A TRAFFIC BARRIER, AND THE SUPPORT SHALL SET ON A MINIMUM OF 2'-0" BEYOND THE OUTSIDE EDGE OF SIGN (SEE GRADING DETAIL FOR SLOPE TREATMENT).
9) NO SIGN POSTS SHOULD BE PLACED IN FRONT OF SUBURBAN.
10) ALL SIGNS SHALL BE MOUNTED ON BREAKAWAY POSTS.



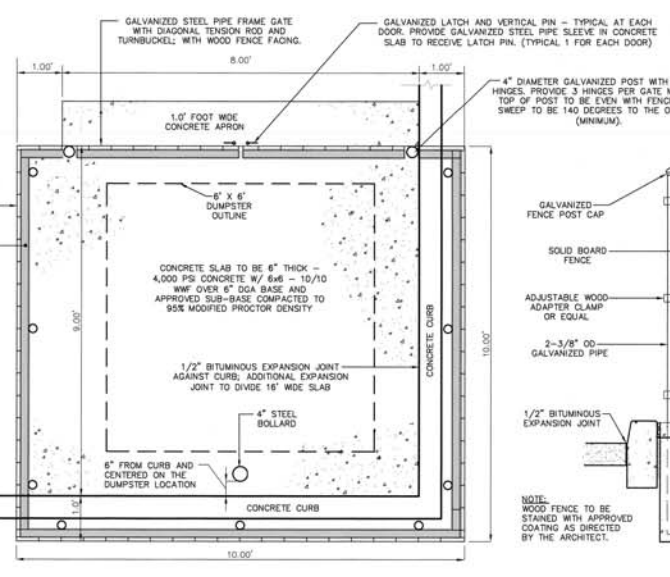
SIGN MOUNTING DETAIL
N.T.S.



TRAFFIC SIGN DETAIL
N.T.S.



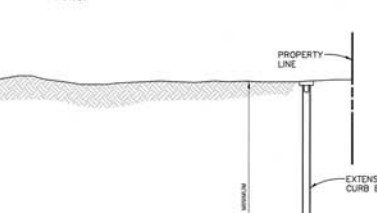
METER PIT DETAIL
N.T.S.



10'x10' DUMPSTER ENCLOSURE PAD DETAIL
N.T.S.



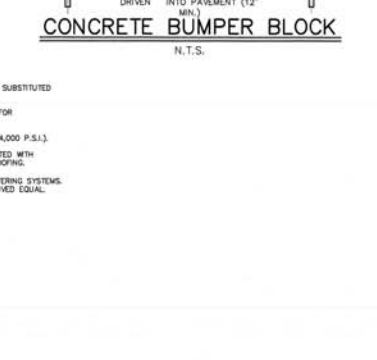
HOUSE SERVICE CONNECTION
N.T.S.



CONCRETE BUMPER BLOCK
N.T.S.



ADA PARKING STALL STRIPING
N.T.S.



ACCESSIBLE PARKING DETAIL
N.T.S.

GENERAL ADA NOTES

- 1. PEDESTRIAN CURBS
2. CROSSWALKS
3. CURB RAMPS
4. DEPRESSED CURBS
5. DETECTABLE WARNING SURFACES
6. DRIVEWAYS
7. JOINTS
8. LANDINGS (AKA TURNING SPACE)
9. NON-WALK SURFACES
10. PEDESTRIAN PUSH BUTTONS

- 11. SIDE FLARES
12. SIDEWALKS
13. TRAVEL LANES
14. MODIFY CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB HEIGHTS WHERE THE CURB IS LESS OR MORE THAN THE STANDARD 6" HEIGHT.
15. CONSTRUCTION MUST MEET THE STANDARDS CONTAINED HEREIN UNLESS OTHERWISE NOTED OR DIRECTED.
16. PREFERRED AND ALTERNATE TREATMENTS SHOULD NOT BE INTERMIXED WITHIN THE SAME INTERSECTION.
17. ALL HANDICAP RAMPS CONSTRUCTED IN THIS CONTRACT SHALL MEET ACCESSIBILITY REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.
18. THE CONTRACTOR IS REQUIRED TO CONTACT THE NEW JERSEY DEPARTMENT OF TRANSPORTATION...
19. ALL VERTICAL SURFACE DISCONTINUITIES SHALL NOT EXCEED 1/4" IN HEIGHT...
20. HORIZONTAL OPENINGS IN GRATES AND JOINTS SHALL NOT EXCEED 1/2" IN DIAMETER...

GENERAL NOTES

- 1. ALL SIGNS AND MARKINGS MUST BE IN CONFORMANCE WITH THE LATEST MANUAL ON UNIFORMED TRAFFIC CONTROL DEVICES.
2. NO CONSTRUCTION WILL BEGIN UNTIL A ROADWAY BASE IS PROVIDED THAT WILL HANDLE EMERGENCY VEHICLE ACCESS AND THE ACCESS ROADWAY WILL BE LEFT CLEAR OF DEBRIS AND CONSTRUCTION VEHICLES OR OTHER MATERIAL TO PROVIDE EMERGENCY ACCESS AT ALL TIMES.
3. ALL CONCRETE FOR SITE WORK SHALL BE MINIMUM 4,000 PSI @ 28 DAYS.

CONSTRUCTION DETAIL NOTES

- 1. ALL TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. STRUCTURAL DETAILS SHALL BE SUPERSEDED BY APPLICABLE TECHNICAL DATA OF STATE DEPARTMENTS.
3. DETAILS UNLESS OTHERWISE NOTED.
4. SHOP DRAWINGS SHALL BE PROVIDED FOR ALL PRECAST STRUCTURES PRIOR TO THE ORDERING OF MATERIALS.
5. DETAILS ASSUME APPROPRIATE LEAD BEARING CAPACITY AND COMPACTED OF SOILS. ACTUAL FIELD CONDITIONS SHALL BE CONFIRMED BY ON-SITE GEOTECHNICAL ENGINEER.
6. REVISIONS:
7. ALL CONSTRUCTION DETAILS ARE NOT TO SCALE (N.T.S.) UNLESS OTHERWISE NOTED.

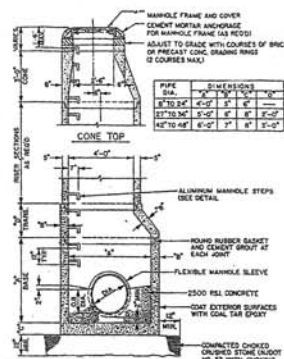
menlo engineering associates logo and contact information: 261 Cleveland Avenue Highland Park, NJ 08104, 732-648-8550, 732-846-9439, www.menloeng.com

Table with 2 columns: REVISIONS, and rows for tracking changes. Includes a note: 'THIS DRAWING IS FOR PERMIT PURPOSES ONLY. NOT FOR CONSTRUCTION UNTIL THIS BOX HAS BEEN CHECKED AND DATED.'

Seal of the State of New Jersey with the text: 'THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.' and 'CALL BEFORE YOU DIG'.

menlo engineering associates logo and project information: AIRPORT CORPORATE PARK WAREHOUSE, TOWNSHIP OF EWING MERCER COUNTY NEW JERSEY, BLOCK 371, LOT 3.05, TAX MAP SHEET 65, 22.61± ACRES, DETAIL SHEET (3).

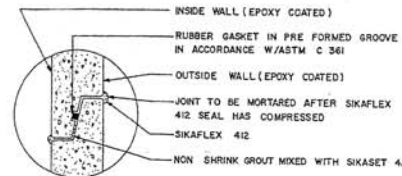
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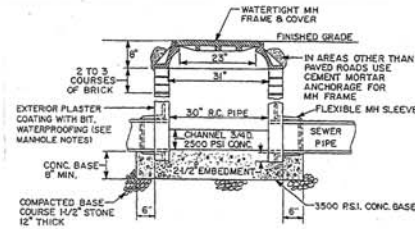
MANHOLE NOTES

- GENERAL**
1. SHORTS SHALL BE USED AT MANHOLES.
 2. EXTERIOR SURFACES SHALL BE PAINTED WITH TWO COATS OF BITUMINOUS WATERPROOFING MATERIAL.
 3. ALL CONSTRUCTION SHALL MEET STANDARD SPECIFICATIONS, THE LATEST REVISIONS.
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST G.S.A. STANDARD, WHERE POSSIBLE.
 5. PRECAST CONCRETE MANHOLE (LEAKS OUT)
 6. WHERE EXISTING MANHOLES ARE USED, A SEWER SECTION CONNECTING BASE SECTION AND Riser SHALL BE USED AND SHALL HAVE A THICKNESS AS SHOWN. THE BASE SECTION AND RISER SHALL BE AT LEAST 8 FEET MINIMUM VERTICAL CLEARANCE WHERE POSSIBLE.
 7. BASE TO BE AS SHOWN IN THE STANDARD.
 8. BRICK OR CONCRETE BLOCK MANHOLES MUST BE APPROVED BY THE AUTHORITY AT EXISTING MANHOLES.
 9. THE CONTRACTOR SHALL CUT INTO THE MANHOLE AND COMPLETE A CONNECTION USING A SUITABLE ADaptor AS REQUIRED AND APPROVED BY THE AUTHORITY.
 10. THE CONTRACTOR SHALL NOT INTERFERE WITH EXISTING SEWERAGE SERVICE DURING THE PERIOD OF CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DEBRIS OUT OF MANHOLE.

Jacobs Environmental, Inc. Princeton, New Jersey August 1996	Ewing-Lawrence Sewerage Authority Standard Details	SANITARY Precast Manhole	1 of 34
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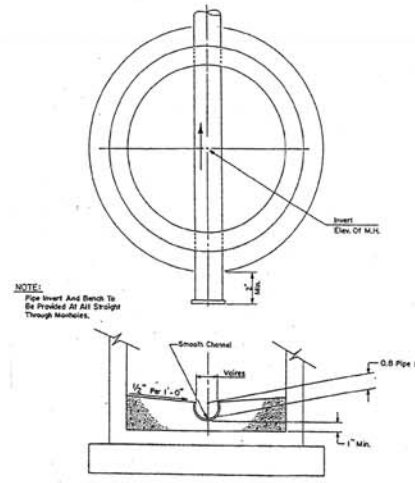
Jacobs Environmental, Inc. Princeton, New Jersey August 1996	Ewing-Lawrence Sewerage Authority Standard Details	SANITARY Manhole Joint	5 of 34
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NOTES

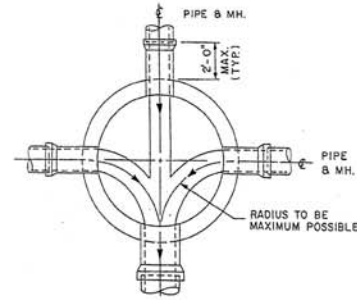
1. SHALLOW MH (CIRCULAR) TO BE USED AT LOCATIONS WHERE DISTANCE FROM FINISHED GRADE TO PIPE INVERT IS 3'-0" OR LESS.
2. FOR DEPTHS 3'-0" AND LESS, MEASURED FROM THE TOP OF THE PIPE, CONTRACTOR SHALL INSTALL DUCTILE IRON PIPE, CLASS 54 UNDER TRAFFIC AREAS.

Jacobs Environmental, Inc. Princeton, New Jersey August 1996	Ewing-Lawrence Sewerage Authority Standard Details	SANITARY Shallow Manhole	6 of 34
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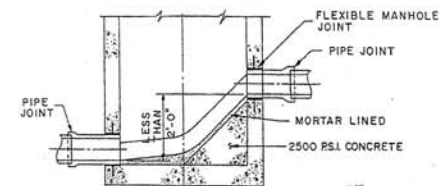


NOTE: Pipe Insert And Bench To Be Finished To All Slopes Through Manhole.

Jacobs Environmental, Inc. Princeton, New Jersey August 1996	Ewing-Lawrence Sewerage Authority Standard Details	SANITARY Manhole Benching	7 of 34
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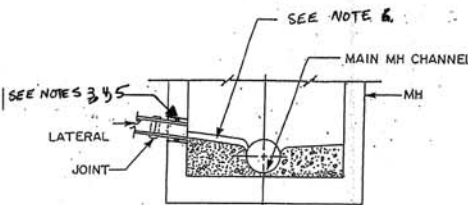


Jacobs Environmental, Inc. Princeton, New Jersey August 1996	Ewing-Lawrence Sewerage Authority Standard Details	SANITARY Benching Geometry	8 of 34
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NOTE: MANHOLE CHUTE IS TO BE USED WHERE DIFFERENCE IN INVERT ELEVATIONS BETWEEN INCOMING PIPE AND OUTGOING PIPE IS LESS THAN 2'-0". IF THE DIFFERENCE IS 2'-0" OR GREATER, THEN DROP CONNECTION SHALL BE MADE AS SHOWN IN DETAIL ON THIS SHEET. CHANNELING SHALL BE DONE AS SHOWN IN DETAIL ON THIS SHEET.

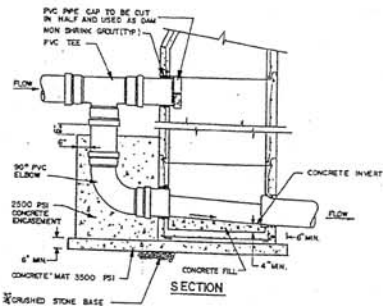
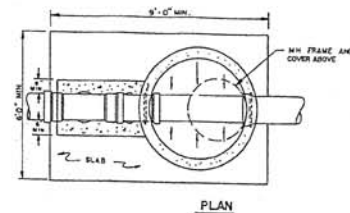
Jacobs Environmental, Inc. Princeton, New Jersey August 1996	Ewing-Lawrence Sewerage Authority Standard Details	SANITARY Manhole Chute	9 of 34
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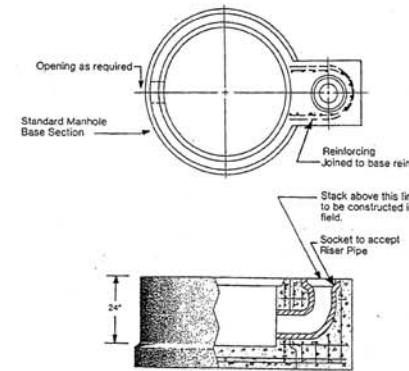
NOTES

1. SHALLOW MH (CIRCULAR) TO BE USED AT LOCATIONS WHERE DISTANCE FROM FINISHED GRADE TO PIPE INVERT IS 3'-0" OR LESS.
2. FOR DEPTHS 3'-0" AND LESS, MEASURED FROM THE TOP OF THE PIPE, CONTRACTOR SHALL INSTALL DUCTILE IRON PIPE, CLASS 54 UNDER TRAFFIC AREAS.
3. FOR NEW MANHOLES, FURNISH Z-LOCK OR A-LOCK MANHOLE TO PIPE CONNECTORS.
4. FOR EXISTING MANHOLES, CORE DRILL THROUGH MANHOLE WALL, INSTALL FERRO MANHOLE ADAPTERS OR 1" X 1" CONTINUOUS BUTYL BENTONITE SEAL STRIP AROUND PIPE.
5. PLACE NON-SHRINK GROUT AROUND PERIMETER OF PIPE PENETRATION. APPLY BONDING AGENT PRIOR TO PLACING GROUT.
6. USE BOTTOM HALF OF LATERAL PIPE TO FORM CHANNEL AND BENCH IN MANHOLE. SAWCUT AND REMOVE TOP HALF OF PIPE WITHIN MANHOLE.

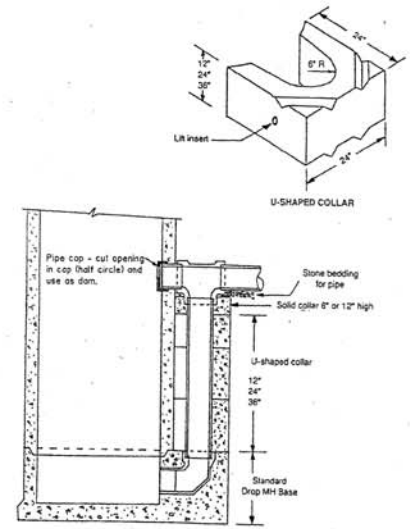
Jacobs Environmental, Inc. Princeton, New Jersey August 1996	Ewing-Lawrence Sewerage Authority Standard Details	SANITARY Lateral Into Manhole	10 of 34
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Jacobs Environmental, Inc. Princeton, New Jersey August 1996	Ewing-Lawrence Sewerage Authority Standard Details	SANITARY Drop Manhole	11 of 34
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Jacobs Environmental, Inc. Princeton, New Jersey August 1996	Ewing-Lawrence Sewerage Authority Standard Details	SANITARY Precast Drop Manhole	12 of 34
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Jacobs Environmental, Inc. Princeton, New Jersey August 1996	Ewing-Lawrence Sewerage Authority Standard Details	SANITARY Precast Drop Risers	13 of 34
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CONSTRUCTION DETAIL NOTES

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6. RESIDENTIAL DEVELOPMENTS SHALL CONFORM TO DETAILS WITHIN THE CURRENT EDITION OF THE RESIDENTIAL SITE IMPROVEMENT STANDARDS (R.S.I.S.).
7. ALL CONSTRUCTION DETAILS ARE NOT TO SCALE (N.T.S.) UNLESS OTHERWISE NOTED.

menlo engineering associates
Civil Engineering Consultants
Landscape Architects
Professional Planners

261 Cleveland Avenue
Highland Park, NJ 08904

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Certificate of Authorization: 256427931905

REVISIONS

NO.	DATE	DESCRIPTION

THIS DRAWING IS FOR PERMIT PURPOSES ONLY. NOT FOR CONSTRUCTION UNTIL THIS BOX HAS BEEN CHECKED AND DATED.

DATE: _____

THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE, ANYWHERE IN THE STATE.

menlo engineering associates

AIRPORT CORPORATE PARK WAREHOUSE

TOWNSHIP OF EWING
MERCER COUNTY
NEW JERSEY

BLOCK 371, LOT 3.05
TAX MAP SHEET 65
22.61± ACRES

DETAIL SHEET (4)

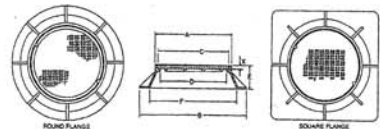
DESIGNED BY: _____
CHECKED BY: _____
APPROVED BY: _____

THIS WORK IS PROVIDED UNDER MY PROFESSIONAL SUPERVISION.

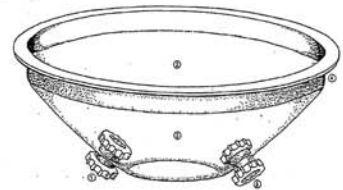
WILLIAM A. LANE
Professional Engineer
No. 40262

PROJECT NUMBER: 2009.079.01 DE-4
DATE OF ISSUE: AUGUST 8, 2020
REVISION: _____

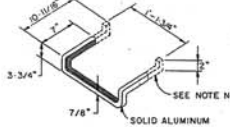
28



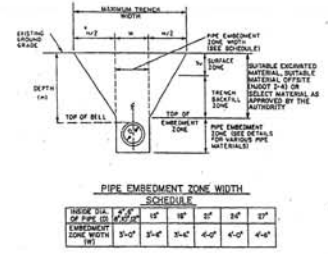
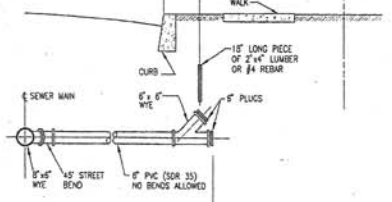
MANHOLE COVER SCHEDULE		DIMENSIONS (INCHES)									
COVER NO.	COVER SIZE	A	B	C	D	E	F	G	H	I	J
1001	12"	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0
1002	18"	18.0	18.0	18.0	18.0	18.0	18.0	18.0	18.0	18.0	18.0
1003	24"	24.0	24.0	24.0	24.0	24.0	24.0	24.0	24.0	24.0	24.0
1004	30"	30.0	30.0	30.0	30.0	30.0	30.0	30.0	30.0	30.0	30.0
1005	36"	36.0	36.0	36.0	36.0	36.0	36.0	36.0	36.0	36.0	36.0
1006	42"	42.0	42.0	42.0	42.0	42.0	42.0	42.0	42.0	42.0	42.0
1007	48"	48.0	48.0	48.0	48.0	48.0	48.0	48.0	48.0	48.0	48.0
1008	54"	54.0	54.0	54.0	54.0	54.0	54.0	54.0	54.0	54.0	54.0
1009	60"	60.0	60.0	60.0	60.0	60.0	60.0	60.0	60.0	60.0	60.0
1010	66"	66.0	66.0	66.0	66.0	66.0	66.0	66.0	66.0	66.0	66.0
1011	72"	72.0	72.0	72.0	72.0	72.0	72.0	72.0	72.0	72.0	72.0
1012	78"	78.0	78.0	78.0	78.0	78.0	78.0	78.0	78.0	78.0	78.0
1013	84"	84.0	84.0	84.0	84.0	84.0	84.0	84.0	84.0	84.0	84.0
1014	90"	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0	90.0
1015	96"	96.0	96.0	96.0	96.0	96.0	96.0	96.0	96.0	96.0	96.0
1016	102"	102.0	102.0	102.0	102.0	102.0	102.0	102.0	102.0	102.0	102.0
1017	108"	108.0	108.0	108.0	108.0	108.0	108.0	108.0	108.0	108.0	108.0
1018	114"	114.0	114.0	114.0	114.0	114.0	114.0	114.0	114.0	114.0	114.0
1019	120"	120.0	120.0	120.0	120.0	120.0	120.0	120.0	120.0	120.0	120.0



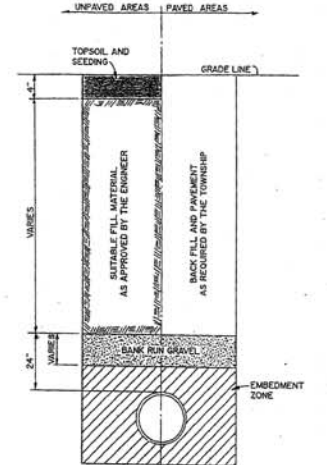
The spring-loaded Gas Relief Valve is designed to relieve the pressure build-up. The valve is automatically closed when the pressure is relieved. In addition, the valve also traps and holds oil and prevents dangerous accumulation of gas. The valve is designed to operate at a pressure of 1/2" water column. The valve is not to be used as a hand-operated valve. It is not to be used as a hand-operated valve. It is not to be used as a hand-operated valve.



NOTES:
 1. ALUMINUM STEEL SHALL BE EXTRUDED ALUM-6061-T6 ALLOY OR OF FRONT DESIGN OR APPROVED EQUAL.
 2. THE PORTION TO BE IMBEDDED IN THE CONCRETE SHALL BE COATED WITH COAL TAR BITUM OR OTHER APPROVED MATERIAL, AND SHALL BE IN ACCORDANCE WITH THE LATEST CLASS STANDARD.
 3. LADDER RUNGS SHALL BE ALIGNED AND INSTALLED BETWEEN ALL PRECAST MANHOLE SECTIONS.



TRENCH EXCAVATION AND BACKFILL NOTES
 1. THE TRENCH AND EMBEDED PIPE SHALL BE SET IN ACCORDANCE WITH THE SCHEDULE AND THE MINIMUM PERCENTAGE OF CONNECTION TO BE ACHIEVED IN THE CONNECTION IN THE MANNER SHOWN IS AS FOLLOWS:
 TRENCH BACKFILL ZONE: ALL 85%
 PIPE EMBEDMENT ZONE: ALL 95%
 THE MINIMUM COMPACTION IN EMBARKMENTS SHALL BE 90%.
 2. THE PIPE EMBEDMENT ZONE WIDTH AND THE MAXIMUM TRENCH WIDTH SHALL NOT EXCEED THE PERMISSIBLE WIDTHS SHOWN IN THE SCHEDULE. THE PIPE SHALL BE INSTALLED IN A HIGHER CLASS BEDDING THAN SHOWN ON THE SCHEDULE OR THE DROPPED PIPE SHALL BE REPLACED WITH PIPE OF GREATER CARRYING STRENGTH OR BOTH TO ACHIEVE SUFFICIENT CONDITIONS.
 3. SUFFICIENT MATERIAL FROM EMBARKMENTS SHALL BE FREE FROM FRACTUREABLE QUANTITIES OF ORGANIC MATTER, CLAY, SILT, SAND, GRAVEL, PEPPER, RUBBER, PLASTIC, OTHER CHEMICALS, ROCK AND OTHER MATERIALS DISPERSED THEREIN BY THE AUTHORITY AND SHALL BE MADE FREE OF EXCESS OF 10 PERCENT FINENESS BY THE No. 200 SIEVE OR STONE OR SAND, LARGER THAN 8 INCHES.
 4. FOR PIPE MATERIALS OTHER THAN PVC, PIPE EMBEDMENT ZONE SHALL BE INCREASED BY 6 INCHES.



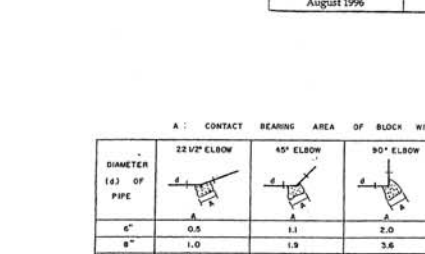
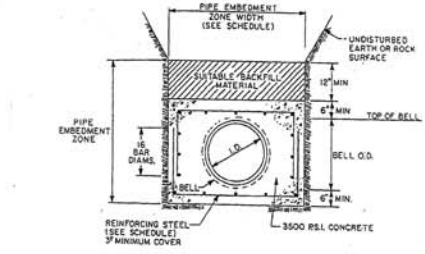
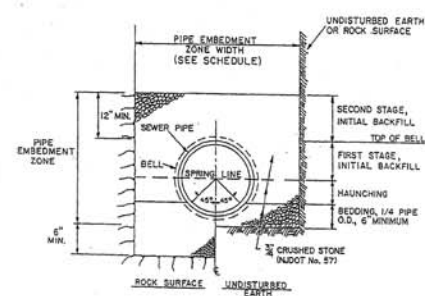
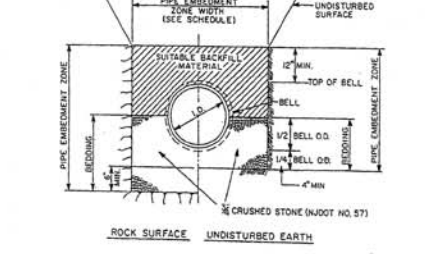
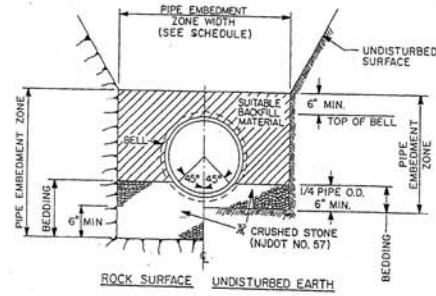
Jacobs Environmental, Inc.	Ewing-Lawrence	SANITARY	15
Plainfield, New Jersey	Sewerage Authority	Frame and Cover - 30"	34
August 1996	Standard Details		

Jacobs Environmental, Inc.	Ewing-Lawrence	SANITARY	18
Plainfield, New Jersey	Sewerage Authority	Watertight Inserts	34
August 1996	Standard Details		

Jacobs Environmental, Inc.	Ewing-Lawrence	SANITARY	4
Plainfield, New Jersey	Sewerage Authority	Manhole Step	34
August 1996	Standard Details		

Jacobs Environmental, Inc.	Ewing-Lawrence	SANITARY	20
Plainfield, New Jersey	Sewerage Authority	Lateral Type II Wye	34
August 1996	Standard Details		

Jacobs Environmental, Inc.	Ewing-Lawrence	SANITARY	25
Plainfield, New Jersey	Sewerage Authority	Pipe Embedment	34
August 1996	Standard Details		



Jacobs Environmental, Inc.	Ewing-Lawrence	SANITARY	27
Plainfield, New Jersey	Sewerage Authority	DIP Bedding	34
August 1996	Standard Details		

Jacobs Environmental, Inc.	Ewing-Lawrence	SANITARY	28
Plainfield, New Jersey	Sewerage Authority	RCP Bedding	34
August 1996	Standard Details		

Jacobs Environmental, Inc.	Ewing-Lawrence	SANITARY	29
Plainfield, New Jersey	Sewerage Authority	PVC Bedding	34
August 1996	Standard Details		

Jacobs Environmental, Inc.	Ewing-Lawrence	SANITARY	31
Plainfield, New Jersey	Sewerage Authority	Full Encasement	34
August 1996	Standard Details		

Jacobs Environmental, Inc.	Ewing-Lawrence	SANITARY	33
Plainfield, New Jersey	Sewerage Authority	Thrust Blocks	34
August 1996	Standard Details		

DIAMETER OF PIPE	22 1/2" ELBOW	45" ELBOW	90" ELBOW	TEE CONNECTION	PLUS
4"	0.8	1.1	2.0	1.4	1.4
6"	1.0	1.4	2.6	2.7	2.7
8"	1.5	2.0	3.8	4.2	4.2
10"	2.2	2.8	5.0	5.7	5.7
12"	3.0	3.8	6.8	7.7	7.7
14"	4.0	5.0	9.2	10.0	10.0
16"	5.0	6.5	12.2	13.5	13.5
18"	6.0	8.0	15.8	17.5	17.5
20"	7.5	10.0	20.0	22.2	22.2
24"	10.0	13.0	26.0	28.7	28.7

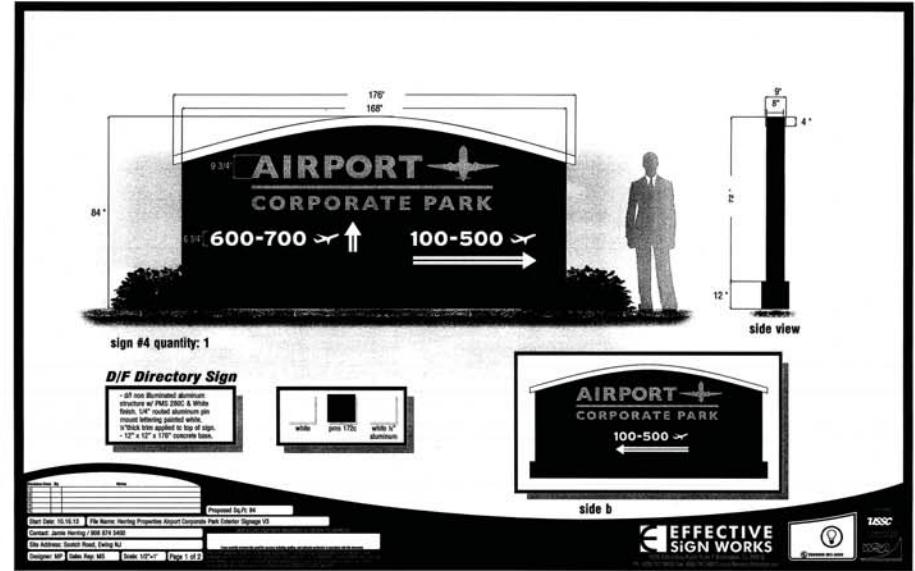
1. BEARING AREAS ARE BASED ON UNDISTURBED SOIL WITH A BEARING CAPACITY OF 2 TONS PER SQ. FT. FOR A LESSER SOIL BEARING CAPACITY THESE AREAS SHALL BE INCREASED ACCORDINGLY.
 2. ALL CONCRETE THRUST BLOCKS SHALL BE 2500 PSI.
 3. THRUST BLOCKS SHALL BE POURED AGAINST UNDISTURBED EARTH.

REBAR SCHEDULE - REINFORCED CONCRETE		DIMENSIONS (INCHES)						
PIPE DIA.	REBAR	12"	18"	24"	30"	36"	42"	48"
4"	TRUNK STEEL	1	1	1	1	1	1	1
4"	CLAS II MODIFIED	1	1	1	1	1	1	1
6"	TRUNK STEEL	2	2	2	2	2	2	2
6"	CLAS II MODIFIED	2	2	2	2	2	2	2
8"	TRUNK STEEL	3	3	3	3	3	3	3
8"	CLAS II MODIFIED	3	3	3	3	3	3	3
10"	TRUNK STEEL	4	4	4	4	4	4	4
10"	CLAS II MODIFIED	4	4	4	4	4	4	4
12"	TRUNK STEEL	5	5	5	5	5	5	5
12"	CLAS II MODIFIED	5	5	5	5	5	5	5

Jacobs Environmental, Inc.	Ewing-Lawrence	SANITARY	32
Plainfield, New Jersey	Sewerage Authority	Reinforcement Schedule	34
August 1996	Standard Details		



(APPROXIMATELY 73 SQUARE FEET)
 14' WIDE x 7' HIGH MONUMENT SIGN
 N.T.S.



(APPROXIMATELY 28 SQUARE FEET)
 8' WIDE x 4' HIGH MONUMENT SIGN
 N.T.S.

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 361 Cleveland Avenue
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 732-846-8585 732-846-9438
 Certificate of Authorization: 10-042707000




THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY EXCAVATOR, OCCUPANCY, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

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 AIRPORT CORPORATE PARK WAREHOUSE
 TOWNSHIP OF EWING
 MERCER COUNTY
 NEW JERSEY
 BLOCK 371, LOT 3.05
 TAX MAP SHEET 65
 22.61± ACRES

DETAIL SHEET
 (5)

DRAWN BY
 CHECKED BY
 APPROVED BY
 WILLIAM LANE
 PROFESSIONAL ENGINEER
 NJPEA 40302
 PROJECT NUMBER: 2008-079-01 DE-5
 DATE OF ISSUE: AUGUST 5, 2020
 REVISION: 29

KAX LED Size 2 LED Area Luminaire



Specifications

Size: 13 1/2" x 13 1/2" x 4 1/2"

Length: 13 1/2"

Width: 13 1/2"

Height: 4 1/2"

Weight: 27 lbs

Capable Luminaire

This form is an A+ Capable Luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

All configurations of this luminaire meet the Acuity Brands specification for chromatic consistency.

This luminaire is A+ Certified when ordered with CCT controls marked by a **3000K/5000K** or **3000K/4000K/5000K** label. All other configurations of this luminaire are not A+ Certified.

This luminaire is part of an A+ Certified solution for RCM+ or RCM+™. RCM+™ is a remote control network, providing out-of-the-box control compatibility with simple commissioning, when ordered with RCM+ or RCM+™ control options marked by a **RCM+** label.

To learn more about A+ visit www.acuitybrands.com/a+.

1. See ordering tree for details.


2. An A+ Certified Solution for RCM+ requires the order of one RCM+ module per luminaire. Sold Separately.

Ordering Information EXAMPLE: KAX2 LED P2 4K R3 1M VOLT SPA 00B0X

Item	Part Number	Product Name	Quantity	Notes
1	400000	KAX2 LED P2 4K R3 1M VOLT SPA 00B0X	1	

KAX2 SITE LIGHT FIXTURE DETAIL-1
N.T.S.

D-Series Size 1 LED Area Luminaire



Specifications

Size: 13 1/2" x 13 1/2" x 4 1/2"

Length: 13 1/2"

Width: 13 1/2"

Height: 4 1/2"

Weight: 27 lbs

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in a luminaire with excellent uniformity, greater pole spacing and lower cover density. It is ideal for replacing up to 700W metal halide in pedestrian and area lighting applications with typical energy savings of 50% and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: DSX1 LED P2 4K R3 1M VOLT SPA N2A2R2 P1R1N DOB0X

Item	Part Number	Product Name	Quantity	Notes
1	400000	DSX1 LED P2 4K R3 1M VOLT SPA N2A2R2 P1R1N DOB0X	1	

DSX1 SITE LIGHT FIXTURE DETAIL-1
N.T.S.

Ordering Information

Accessories

Options

Drilling

Handhole Orientation

Photometric Diagrams

Performance Data

Lumen Ambient Temperature (LAT) Multiplier

Electrical Load

Projected LED Lumen Maintenance

Lumen Output

Ordering Information EXAMPLE: KAX2 LED P2 4K R3 1M VOLT SPA 00B0X

Item	Part Number	Product Name	Quantity	Notes
1	400000	KAX2 LED P2 4K R3 1M VOLT SPA 00B0X	1	

KAX2 SITE LIGHT FIXTURE DETAIL-2
N.T.S.

Ordering Information

Accessories

Options

Drilling

Handhole Orientation

Photometric Diagrams

Performance Data

Lumen Ambient Temperature (LAT) Multiplier

Electrical Load

Projected LED Lumen Maintenance

Lumen Output

Ordering Information EXAMPLE: DSX1 LED P2 4K R3 1M VOLT SPA N2A2R2 P1R1N DOB0X

Item	Part Number	Product Name	Quantity	Notes
1	400000	DSX1 LED P2 4K R3 1M VOLT SPA N2A2R2 P1R1N DOB0X	1	

DSX1 SITE LIGHT FIXTURE DETAIL-2
N.T.S.

Ordering Information

Accessories

Options

Drilling

Handhole Orientation

Photometric Diagrams

Performance Data

Lumen Ambient Temperature (LAT) Multiplier

Electrical Load

Projected LED Lumen Maintenance

Lumen Output

Ordering Information EXAMPLE: DSX1 LED P2 4K R3 1M VOLT SPA N2A2R2 P1R1N DOB0X

Item	Part Number	Product Name	Quantity	Notes
1	400000	DSX1 LED P2 4K R3 1M VOLT SPA N2A2R2 P1R1N DOB0X	1	

DSX1 SITE LIGHT FIXTURE DETAIL-3
N.T.S.

Ordering Information

Accessories

Options

Drilling

Handhole Orientation

Photometric Diagrams

Performance Data

Lumen Ambient Temperature (LAT) Multiplier

Electrical Load

Projected LED Lumen Maintenance

Lumen Output

Ordering Information EXAMPLE: DSX1 LED P2 4K R3 1M VOLT SPA N2A2R2 P1R1N DOB0X

Item	Part Number	Product Name	Quantity	Notes
1	400000	DSX1 LED P2 4K R3 1M VOLT SPA N2A2R2 P1R1N DOB0X	1	

DSX1 SITE LIGHT FIXTURE DETAIL-4
N.T.S.

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

Anchor Bolt Plate

SSS SQUARE STRAIGHT STEEL

Ordering Information EXAMPLE: SSS SQUARE STRAIGHT STEEL

Item	Part Number	Product Name	Quantity	Notes
1	400000	SSS SQUARE STRAIGHT STEEL	1	

SITE LIGHT POLE DETAIL-1
N.T.S.

Ordering Information

Accessories

Options

Drilling

Handhole Orientation

Photometric Diagrams

Performance Data

Lumen Ambient Temperature (LAT) Multiplier

Electrical Load

Projected LED Lumen Maintenance

Lumen Output

Ordering Information EXAMPLE: DSX1 LED P2 4K R3 1M VOLT SPA N2A2R2 P1R1N DOB0X

Item	Part Number	Product Name	Quantity	Notes
1	400000	DSX1 LED P2 4K R3 1M VOLT SPA N2A2R2 P1R1N DOB0X	1	

DSX1 SITE LIGHT FIXTURE DETAIL-4
N.T.S.

LITHONIA LIGHTING

SSS Square Straight Steel Pole

Anchor Bolt Plate

SSS SQUARE STRAIGHT STEEL

Ordering Information EXAMPLE: SSS SQUARE STRAIGHT STEEL

Item	Part Number	Product Name	Quantity	Notes
1	400000	SSS SQUARE STRAIGHT STEEL	1	

SITE LIGHT POLE DETAIL-2
N.T.S.

Ordering Information

Accessories

Options

Drilling

Handhole Orientation

Photometric Diagrams

Performance Data

Lumen Ambient Temperature (LAT) Multiplier

Electrical Load

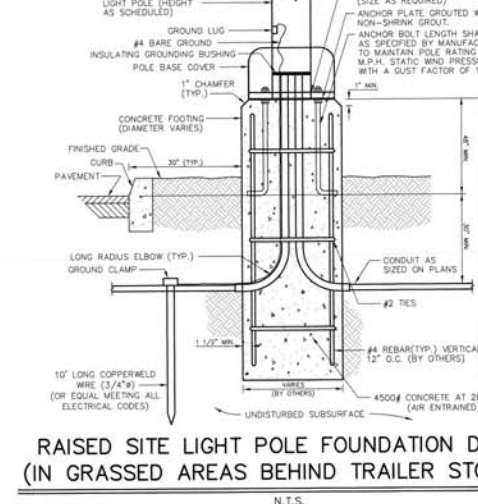
Projected LED Lumen Maintenance

Lumen Output

Ordering Information EXAMPLE: DSX1 LED P2 4K R3 1M VOLT SPA N2A2R2 P1R1N DOB0X

Item	Part Number	Product Name	Quantity	Notes
1	400000	DSX1 LED P2 4K R3 1M VOLT SPA N2A2R2 P1R1N DOB0X	1	

DSX1 SITE LIGHT FIXTURE DETAIL-4
N.T.S.



CONSTRUCTION DETAIL NOTES

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NO.	DATE	DESCRIPTION

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CD DWD BY: _____ DATE: _____

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AIRPORT CORPORATE PARK WAREHOUSE

TOWNSHIP OF EWING
MERCER COUNTY
NEW JERSEY

BLOCK 371, LOT 3.05
TAX MAP SHEET 95
22.61± ACRES

DETAIL SHEET (6)

DRAWN BY: _____
DESIGNED BY: _____
CHECKED BY: _____

THIS DRAWING PREPARED UNDER THE SUPERVISION OF:

WILLIAM A. LANE
PROFESSIONAL ENGINEER
NJPE # 40262

PROJECT NUMBER: 2008.078.01 DC-6
DATE OF ISSUE: AUGUST 5, 2020
REVISION: _____

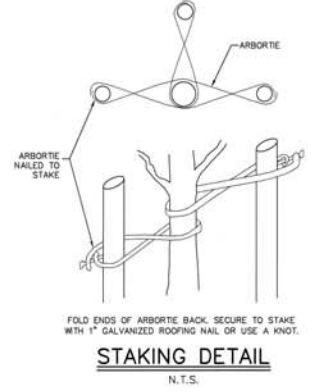
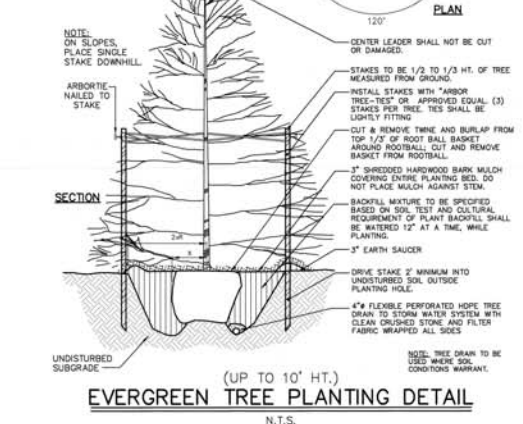
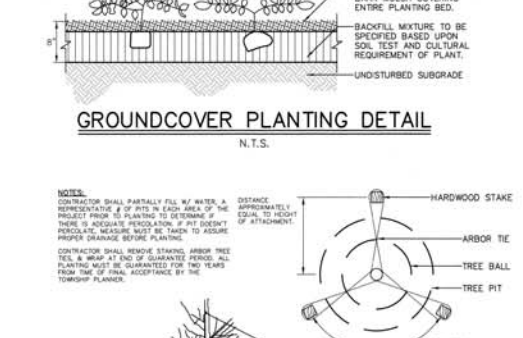
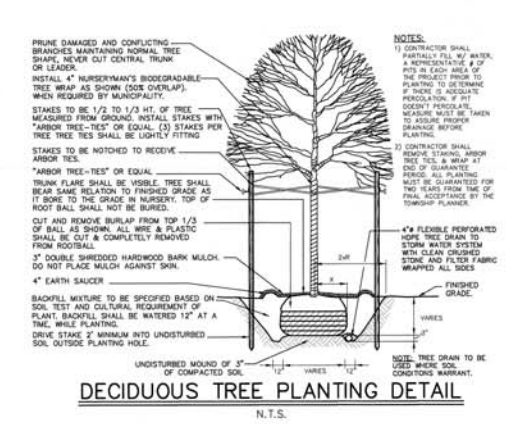
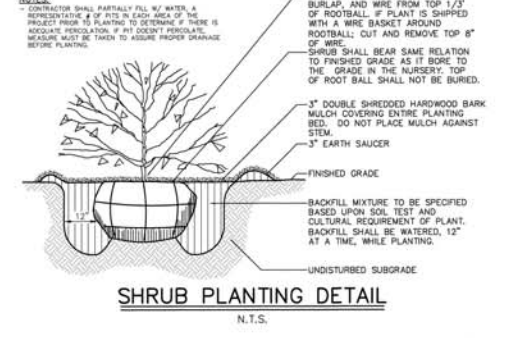
30

PLANTING NOTES

- THE FOLLOWING RECOMMENDED PLANTING PERIODS SHOULD BE ADHERED TO WHENEVER POSSIBLE.
- 1) BROADLEAF AND CONIFEROUS EVERGREEN TREES, SHRUBS, VINES AND GROUND COVERS SHALL BE PLANTED BETWEEN AUGUST 15th AND SEPTEMBER 15th AND BETWEEN APRIL 15th AND MAY 15th. DECAIDUOUS TREES, SHRUBS, VINES, GROUND COVERS AND PERENNIALS SHALL BE PLANTED BETWEEN OCTOBER 15th AND NOVEMBER 15th AND BETWEEN MARCH 15th AND MAY 15th. THESE PLANTING SEASONS MAY BE EXTENDED OR SHORTENED ACCORDING TO PREVAILING WEATHER CONDITIONS, SOIL CONDITIONS, AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE.
 - 2) THE PLANTING OPERATION INCLUDES ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, SHIPPING, INCIDENTALS AND CLEAN-UP BY THE CONTRACTOR FOR THE INSTALLATION OF THE ENTIRE LANDSCAPE PLAN.
 - 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT.
 - 4) THE CONTRACTOR WILL EXAMINE ALL FIELD CONDITIONS FOR EXACT LOCATIONS OF UTILITIES, DRAINAGE SYSTEMS AND IRRIGATION SYSTEMS AND ADJUST PROPOSED PLANTINGS ACCORDINGLY. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROPER DEPTH OF TOPSOIL IN ALL AREAS AND THE PROVISION OF POSITIVE DRAINAGE. THE CONTRACTOR SHALL NOTIFY THE CLIENT, ENGINEER, AND/OR TOWNSHIP PLANNER OF ANY DETRIMENTAL DRAINAGE HAZARD, INCLUDING BUT NOT LIMITED TO INSUFFICIENT TOPSOIL, ETC. PRIOR TO THE INSTALLATION OF ANY MATERIALS, INCLUDING LAMN AREAS.
 - 5) THE CONTRACTOR WILL NOTIFY THE TOWNSHIP PLANNER IN WRITING OF ALL SOIL OR DRAINAGE CONDITIONS WHICH THE CONTRACTOR CONSIDERS DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. STATE CONDITION AND SUBMIT A PROPOSAL FOR CORRECTION IF FEASIBLE.
 - 6) PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES. QUALITY AND SIZE OF PLANTS, SPREAD OR ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE MOST RECENT ANSI Z60 "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN, INC.
 - 7) PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
 - 8) GUARANTEE OF PLANT GROWTH: ALL PLANTS AND TREES SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST TWO (2) YEARS FOR TREES AND SHRUBS FROM THE DATE OF FINAL ACCEPTANCE OR AS REQUIRED BY TOWNSHIP. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THE ABOVE STATED.
 - 9) INsofar as it is PRACTICAL, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE (3) DAY PERIOD AFTER DELIVERY.
 - 10) IF PLANT AVAILABILITY IS RESTRICTED, SUBSTITUTIONS MAY BE MADE WITHIN PLANT TYPE TO MAINTAIN SIMILAR GROWTH AND ORNAMENTAL QUALITIES UPON NOTIFICATION AND APPROVAL BY THE TOWNSHIP PLANNER.
 - 11) PLANT LOCATIONS SHOWN ARE DIAGRAMMATIC. ALL PLANTS SHOWN SEMI-MATURE SIZE ON PLANS. THE STAKING LAYOUT OF ALL PLANTINGS WILL BE INSPECTED BY THE TOWNSHIP PLANNER PRIOR INSTALLATION AS REQUESTED BY OWNER.
 - 12) AREAS DISTURBED BY LANDSCAPE OPERATIONS SHALL BE GRADED TO MATCH EXISTING TOPSOIL AND SEED OR SOO AS REQUIRED.
 - 13) NO PLANT, EXCEPT GROUND COVERS AND FOUNDATIONS PLANTS SHALL BE PLANTED LESS THAN TWO (2) FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
 - 14) ALL PLANTS SHALL BE PLANTED IN TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACKFILLING PROGRESSES. NOTHING BUT SUITABLE TOPSOIL FREE OF DRY SOO, STIFF CLAY, LITTER, STONES IN EXCESS OF 1", ETC., SHALL BE USED FOR PLANTING.
 - 15) SET ALL PLANTS PLUMB AND STRAIGHT, SET AT SUCH LEVEL THAT, AFTER SETTLEMENT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT THE CENTER OF THE PIT.
 - 16) IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (2" CALIPER AND OVER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER TO TREES MUST NOT BE CUT BACK. LONG SIDE BRANCHES, HOWEVER, MUST BE SHORTENED. TREES WITH THE CENTRAL LEADER PRUNED WILL BE REJECTED.
 - 17) EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
 - 18) ALL TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. ALL TREES SIX (6) INCHES AND OVER IN CALIPER SHALL BE TIED, WHILE SMALLER TREES SHALL BE STAKED. ARBOR TREE TIES AND STAKES SHALL BE INSTALLED AS INDICATED. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ARBOR TREE TIES ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE.
 - 19) THE TRUNKS OF ALL TREES SHALL BE WRAPPED AS SOON AS POSSIBLE AFTER PLANTING ACCORDING TO STANDARD PROCEDURES AND IF REQUIRED BY TOWNSHIP.
 - 20) MULCH FOR PLANTING BEDS SHALL BE DOUBLE SHREDED HARDWOOD BARK MULCH UNLESS OTHERWISE SPECIFIED ON THE PLANS AND SHALL HAVE NO LEAVES, YOUNG GREEN GROWTH, BRANCHES, TWIGS GREATER IN DIAMETER OF 1/2", WEEDS, SHAVINGS OR FOREIGN MATERIAL SUCH AS STONES, ETC. SHALL BE MIXED WITH THE MULCH. ALL SHRUB MULCHES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS WITH A COMPACTED DEPTH OF 3". NO MULCH SHALL BE PLACED AGAINST PLANT STEMS.
 - 21) WATER APPLIED TO SEEDS OR SOOED AREAS, PLANTS OR PLANTED AREAS SHALL BE FREE FROM IMPURITIES INJURIOUS TO VEGETATION AND APPLIED AT A RATE OF FIVE GALLONS OF WATER PER SQUARE YARD OF PLANT PIT.
 - 22) FALL PLANTING HAZARDS:
IT IS VERY RISKY TO TRANSPANT THE FOLLOWING LIST OF TREES BARE ROOT OR BAB IN THE FALL:
PLATANUS ACERIFOLIA BETULA VARIETIES
FRAXINUS-ALL STONE FRUITS PRUNUS-ALL PEARS
CORNUS VARIETIES QUERCUS-ALL OAKS
CORNUS FLORIDA & VARS SALIX-WEeping VARS
CRATAEGUS VARIETIES STRAUX JAPONICA
HALESIA TILIA TOMENTOSA
KOLBUITZIA ZELKOVA VARIETIES
LIQUIDAMBAR STRACDFLUA LIRODENDRON TULIPFERA

THE CONTRACTOR ASSUMES RESPONSIBILITY FOR PLANT SURVIVAL OF THESE MATERIALS IF MOVED DURING THE FALL SEASON.

- 23) TREES TO REMAIN ON-SITE TO BE SELECTIVELY THINNED AND PRUNED REMOVING ALL DEAD AND DISEASED LIMBS WHILE PROTECTED BY FENCING DURING CONSTRUCTION (SEE DETAIL). FENCE TO BE MAINTAINED DURING CONSTRUCTION BY CONTRACTOR.
- 24) THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT QUANTITY DISCREPANCIES OCCUR.
- 25) ALL STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS DRIVES SHALL NOT BE BRANCHED LOWER THAN 7'-0" ABOVE GRADE. ALL PLANT MATERIAL LOCATED WITHIN ANY RIGHT TRIANGLE CASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 36" ABOVE THE ADJACENT PAVED ELEVATION. ALL STREET TREES PLANTED IN ANY RIGHT TRIANGLE SHALL BE PRUNED AS MENTIONED ABOVE.
- 26) SEE DETAIL DRAWINGS FOR TYPICAL PLANTING DETAILS.



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4. DETAILS ASSUME APPROPRIATE LOAD BEARING CAPACITY AND COMPACTION OF SOIL. ACTUAL FIELD CONDITIONS SHALL BE CONFIRMED BY ON-SITE GEOTECHNICAL ENGINEER.
5. RESIDENTIAL DEVELOPMENTS SHALL CONFORM TO DETAILS WITHIN THE CURRENT EDITION OF THE RESIDENTIAL SITE IMPROVEMENT STANDARDS (R.S.I.S.).
6. ALL CONSTRUCTION DETAILS ARE NOT TO SCALE (N.T.S.) UNLESS OTHERWISE NOTED.

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MERCER COUNTY
NEW JERSEY

BLOCK 371, LOT 3.05
TAX MAP SHEET 65
22.61± ACRES

DETAIL SHEET (7)

DRW BY: _____
DESIGNED BY: _____
APPROVED BY: _____
DATE: _____
REVISION: _____

Kenne R. GriseWood
LANDSCAPE ARCHITECT
LICENSE #A5000071

PROJECT: 2009.079.01 DE-7
DATE OF SHEET: AUGUST 5, 2009
REVISION: _____

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